



WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held in David Hicks 1 - Civic Offices, Shute End, Wokingham RG40 1BN on **WEDNESDAY 10 MAY 2023 AT 7.00 PM**

Susan Parsonage
Chief Executive
Published on 28 April 2023

Note: Non-Committee Members and members of the public are welcome to attend the meeting or participate in the meeting virtually, in line with the Council's Constitution. If you wish to participate either in person or virtually via Microsoft Teams please contact Democratic Services. The meeting can also be watched live using the following link:
<https://youtube.com/live/VZXpnmpt25w?feature=share>

Please note that other people may film, record, tweet or blog from this meeting. The use of these images or recordings is not under the Council's control.

Our Vision
<i>A great place to live, learn, work and grow and a great place to do business</i>
Enriching Lives
<ul style="list-style-type: none"> • Champion excellent education and enable our children and young people to achieve their full potential, regardless of their background. • Support our residents to lead happy, healthy lives and provide access to good leisure facilities to enable healthy choices for everyone. • Engage and empower our communities through arts and culture and create a sense of identity for the Borough which people feel part of. • Support growth in our local economy and help to build business.
Providing Safe and Strong Communities
<ul style="list-style-type: none"> • Protect and safeguard our children, young and vulnerable people. • Offer quality care and support, at the right time, to reduce the need for long term care. • Nurture our communities: enabling them to thrive and families to flourish. • Ensure our Borough and communities remain safe for all.
Enjoying a Clean and Green Borough
<ul style="list-style-type: none"> • Play as full a role as possible to achieve a carbon neutral Borough, sustainable for the future. • Protect our Borough, keep it clean and enhance our green areas for people to enjoy. • Reduce our waste, promote re-use, increase recycling and improve biodiversity. • Connect our parks and open spaces with green cycleways.
Delivering the Right Homes in the Right Places
<ul style="list-style-type: none"> • Offer quality, affordable, sustainable homes fit for the future. • Ensure the right infrastructure is in place, early, to support and enable our Borough to grow. • Protect our unique places and preserve our natural environment. • Help with your housing needs and support people, where it is needed most, to live independently in their own homes.
Keeping the Borough Moving
<ul style="list-style-type: none"> • Maintain and improve our roads, footpaths and cycleways. • Tackle traffic congestion and minimise delays and disruptions. • Enable safe and sustainable travel around the Borough with good transport infrastructure. • Promote healthy alternative travel options and support our partners in offering affordable, accessible public transport with good transport links.
Changing the Way We Work for You
<ul style="list-style-type: none"> • Be relentlessly customer focussed. • Work with our partners to provide efficient, effective, joined up services which are focussed around our customers. • Communicate better with customers, owning issues, updating on progress and responding appropriately as well as promoting what is happening in our Borough. • Drive innovative, digital ways of working that will connect our communities, businesses and customers to our services in a way that suits their needs.
Be the Best We Can Be
<ul style="list-style-type: none"> • Be an organisation that values and invests in all our colleagues and is seen as an employer of choice. • Embed a culture that supports ambition, promotes empowerment and develops new ways of working. • Use our governance and scrutiny structures to support a learning and continuous improvement approach to the way we do business. • Be a commercial council that is innovative, whilst being inclusive, in its approach with a clear focus on being financially resilient. • Maximise opportunities to secure funding and investment for the Borough. • Establish a renewed vision for the Borough with clear aspirations.

MEMBERSHIP OF THE PLANNING COMMITTEE

Councillors

Rachelle Shepherd-DuBey (Chair)	Andrew Mickleburgh (Vice-Chair)	Chris Bowring
Stephen Conway	David Cornish	
Rebecca Margetts	Alistair Neal	Wayne Smith

ITEM NO.	WARD	SUBJECT	PAGE NO.
109.		APOLOGIES To receive any apologies for absence.	
110.		MINUTES OF PREVIOUS MEETING To confirm the Minutes of the Meeting held on 12 April 2023.	5 - 14
111.		DECLARATION OF INTEREST To receive any declaration of interest	
112.		APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
113.	Finchampstead South	APPLICATION NO.211335 - LAND ADJOINING LYNFIELD HOUSE, WHITE HORSE LANE, FINCHAMPSTEAD, BERKSHIRE, RG40 4LX Recommendation: Conditional approval	15 - 40
114.	Shinfield South	APPLICATION NO.222906 - LAND SOUTH OF CUTBUSH LANE, SHINFIELD (WEST OF OLDHOUSE FARM) AND GATEWAY PLOT 4 TVSP Recommendation: Conditional approval subject to legal agreement	41 - 78
115.	Finchampstead South	APPLICATION NO.222805 - HIGH BARN, CHURCH LANE, FINCHAMPSTEAD, RG40 4LR Recommendation: Conditional approval	79 - 108
116.	Hillside	APPLICATION NO.221797 - "CROCKERS", RUSHEY WAY, EARLEY, WOKINGHAM Recommendation: Conditional approval	109 - 146
117.	Remenham, Wargrave and Ruscombe	APPLICATION NO.213610 - HATCHGATE AND KENTONS, KENTONS LANE, UPPER CULHAM, RG10 8NU Recommendation: Conditional approval subject to legal agreement	147 - 184

118.	Remenham, Wargrave and Ruscombe	APPLICATION NO.213587 - STROWDES, UPPER CULHAM LANE, REMENHAM, RG10 8NU Recommendation: Conditional approval subject to legal agreement	185 - 228
119.	Bulmershe and Whitegates	APPLICATION NO.230219 - UNIT 31-33, SUTTONS BUSINESS PARK, SUTTONS PARK AVENUE, EARLEY, WOKINGHAM Recommendation: Conditional approval	229 - 258

Any other items which the Chair decides are urgent

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

GLOSSARY OF TERMS

The following abbreviations were used in the above Index and in reports.

C/A	Conditional Approval (grant planning permission)
CIL	Community Infrastructure Levy
R	Refuse (planning permission)
LB	(application for) Listed Building Consent
S106	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
F	(application for) Full Planning Permission
MU	Members' Update circulated at the meeting
RM	Reserved Matters not approved when Outline Permission previously granted
VAR	Variation of a condition/conditions attached to a previous approval
PS	Performance Statistic Code for the Planning Application
Category	

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**MINUTES OF A MEETING OF THE
PLANNING COMMITTEE
HELD ON 12 APRIL 2023 FROM 7.00 PM TO 9.05 PM**

Committee Members Present

Councillors: Rachelle Shepherd-DuBey (Chair), Andrew Mickleburgh (Vice-Chair), Chris Bowring, Stephen Conway, David Cornish, Rebecca Margetts, Alistair Neal and Wayne Smith

Councillors Present and Speaking

Councillors: Sarah Kerr

Officers Present

Emma Jane Brewerton, Legal Services
Brian Conlon, Operational Lead – Development Management
Madeleine Shopland, Democratic and Electoral Services Specialist
Gordon Adam, Highways

Case Officers Present

Mark Croucher
Andrew Fletcher
Stefan Fludger
Senjuti Manna

98. APOLOGIES

An apology for absence was submitted from John Kaiser.

99. MINUTES OF PREVIOUS MEETING

The Minutes of the meeting of the Committee held on 8 March 2023 were confirmed as a correct record and signed by the Chair.

100. DECLARATION OF INTEREST

David Cornish declared a Personal Interest in Item 108 Application 211335 Land Adjoining Lynfield House, White House Lane, on the grounds that he had previously listed the application as Ward Member for Finchampstead South on the grounds of potential conflict with the emerging Finchampstead Neighbourhood Development Plan. Following conversations with Officers he had withdrawn the listing. He would view the application with an open mind and consider it on its merits.

Rebecca Margetts declared a Personal Interest in Item 108 Application 211335 Land Adjoining Lynfield House, White House Lane, on the grounds that she had listed the application as Ward Member for Finchampstead South. She would view the application with an open mind and consider it on its merits.

In addition, her son had received cricket coaching in the past from Phil West who would run the cricket net.

101. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS

There were no applications to be deferred or withdrawn.

102. SHINFIELD FOOTPATH 14 DIVERSION - MARTYN CRESCENT, SHINFIELD, RG2 9WF

Proposal: Application for the extinguish part of Shinfield Footpath 14 under Section 118 Highways Act 1980 and to divert part of Shinfield Footpath 14 under Section 119 Highways Act 1980.

The Committee considered a report about this application, set out in agenda pages 21 to 26.

Andrew Mickleburgh commented that Footpath 14 was no longer needed for public use as alternatives of a similar length were available within the estate. He questioned the inclusion in the information of a letter referring to the creation of a bridleway link from Footpath 14. Andrew Fletcher explained that the letter was from the British Horse Society who whilst not objecting to the application had asked other paths to be upgraded, and had been included for transparency. The offering of other paths did not fall within the legal tests of whether or not to make a diversion.

Alistair Neal commented that pedestrians would no longer have a priority route as they would be walking along a carriageway. Andrew Fletcher indicated that the existing path was an offroad pedestrian route, through a natural surface path. The proposal was an adopted carriageway with surfaced footways running alongside which would be for pedestrian use only. Alistair Neal went on to ask whether the route would have the same status as the footpath. Andrew Fletcher stated that under the Section 38 agreement that the Council had undertaken with the developer, there was a dedication of rights as a carriageway.

In response to a comment from David Cornish regarding the promotion of cycling, Andrew Fletcher stated that in terms of diversions, the Council actively worked with developers to achieve upgrades to paths, particularly those identified in the Rights of Way Improvement Plan. With regards to the specific site, the agreement for the outline planning permission for the site was much earlier. It was not possible for the extinguishment to be conditional on an upgrade for bridleway rights for other paths unaffected by the proposed order.

Stephen Conway stated that the extinguishment order was practical.

In response to a question from Rachelle Shepherd-Dubey regarding provision for cyclists, Andrew Fletcher indicated that there was not specific provision for cyclists as part of the proposal. The existing footpath did not have specific cycle rights.

Stephen Conway proposed that the diversion order and extinguishment order be approved in line with the officer recommendation. This was seconded by Wayne Smith.

RESOLVED: That the making of the diversion order and extinguishment order be approved.

103. SHINFIELD FOOTPATH 11/12 DIVERSION - SHINFIELD WEST LOCAL CENTRE

Proposal: Application for the diversion of part of Shinfield Footpath 11 & Shinfield Footpath 12 under Section 257 Town and Country Planning Act 1990.

The Committee considered a report about this application, set out in agenda pages 27 to 34.

Stephen Conway proposed that the diversion order be approved in line with the officer recommendation. This was seconded by Wayne Smith.

RESOLVED: That

- 1) authorisation be given to the making of an order under s257 of the Town & Country Planning Act 1990 to divert part of Footpath 11 Shinfield and part of Footpath 12 Shinfield as shown in Appendix A to enable development to be carried out;
- 2) If no objections to the order were received or any such objections were withdrawn, that the order may be confirmed;
- 3) If objections were received and sustained, the order may be sent to the Secretary of State for confirmation.

104. APPLICATION 222513 "LAWRENCE CENTRE", OAKLANDS PARK, WOKINGHAM, RG41 2FE

Proposal: Full application for the proposed erection of 3no. general industrial units (Use Class B2) and associated changes to the existing parking spaces.

Applicant: Thomas Lawrence & Sons

The Committee considered a report about this application, set out in agenda pages 35 to 60.

It was noted that four Members had attended a site visit.

Julia Willoughby, resident, spoke in objection to the application. She lived at 89 Blagrove Drive. She commented that a report by Bowyer, a planning consultant, stated that properties impacted by the development were numbers 87, 91 and 93 Blagrove Drive. Julia Willoughby was of the view that 89 rather than 87 would be impacted. She disagreed that the proposal was unlikely to impact the stability of existing trees and shrubs and expressed concern regarding the possible impact on the stability two large conifers bordering the fence with her property. Julia Willoughby went on to state that her extension was approximately 25ft from the boundary. The proposal would be overbearing and minimise natural light to her property. She had invited officers to visit her property, but this offer had not yet been taken up.

Jane Hutchings, resident, spoke in objection to the applicant. She lived at 93 Blagrove Drive, and stated that whilst she appreciated the 1 metre boundary with her fence, and the reduction in the height of the wall nearest her house, issues remained outstanding. The wall would be overbearing, dominant and claustrophobic. The distance was less than 12 metres made up of 10.82 metres of the garden of 93 Blagrove Drive, and 1 metre of the boundary fence. Jane Hutchings stated that there had been a welcome divide between the residential and industrial areas for a number of years, in keeping with the area and density of the buildings. She was of the view that should the proposal be approved, it would open the floodgates for similar applications along the boundary, changing the character of the area. Jane Hutchings went on to state that there was no indication of what the Class B units would be used for, so the potential noise and smell impact was unknown. The houses along the boundary would experience a loss of light and a reduction in morning sun. A ray of light survey had been conducted without residents' knowledge or input. Finally, she expressed concern at a lack of consultation with residents.

David Hall, agent's representative, spoke in support of the application. The applicant had sought to strike a balance between providing further, smaller, commercial units on a site identified as being within a core employment area, whilst recognising and addressing the concerns of adjoining residents. David Hall stated that the plans had been amended to reduce the height of the proposed units and the applicant had accepted conditions relating to landscaping and noise, to further mitigate residents' concerns. With regards to daylight, a report prepared on the applicant's behalf, had concluded that the proposed development would not have any material impact on the adjoining residential properties, and would not result in any material loss of light. David Hall emphasised that acceptable separation distances would be maintained, and that there would not be unacceptable overbearing on neighbouring properties. Additionally, the proposed units would have dual pitched roofs which would slope away from the shared boundaries with the residential properties. He went on to highlight that no technical objections had been received to the application.

Sarah Kerr, Ward Member, spoke in objection to the application. She felt that there were material planning considerations which meant that the application could be refused. In the Council's Core Strategy, CP1 Sustainable Development, stated 'maintain the high quality of the environment.' CP3 General Principles of Development stated that development should be 'of an appropriate scale of activity, mass, layout, built form, height, materials and character of the area, together with the high quality of design without detriment to the amenities of adjoining land users, including open space, or occupiers and their quality of life.' Sarah Kerr was of the view that the application did not meet this. The area was classed as a core employment area abutting a residential area. She commented that business growth within a core employment area on a brownfield site made the principle of development acceptable, however she felt that the particular proposal was unacceptable. Sarah Kerr commented that there had been a lack of consultation with the residents. She felt that it would have a negative impact on residents and that the 1metre separation from the boundary was very little, and there would be some overbearing. The loss of light survey had not been carried out from the impacted properties. Finally, she highlighted that she had been asked to withdraw her listing of the application in light of the amendment made to the proposal, and the fact that fewer residents had commented on this amendment. She was of the view that the alteration had not fully addressed outstanding issues.

In response to a Member question regarding distances between the proposed development and the existing residential properties, Senjuti Manna, case officer, indicated that the distance from number 93 to the boundary was 16 metres, from number 91 it was 12.9 metres, and from number 89 it was 13.1 metres. David Cornish asked about a building to the north of number 93 and was informed that it was garages. Senjuti Manna confirmed that the measurement was taken from the houses and not the garages. Sarah Kerr commented that the extension of one of the properties was not shown on the mapping system and in reality, was closer than the distances given.

Rachelle Shepherd-DuBey asked the distance from the bigger building already present, to the residential properties, and was informed that it was 18 metres. She went on to ask about standard separation distances. Senjuti Manna commented that for one or two storey buildings, it was 12 metres.

Andrew Mickleburgh questioned whether the Borough Design Guide listed different separation distances for residential and commercial properties. Senjuti Manna indicated that it was a minimum of 12 metres for one or two storey buildings and buildings taller than

two storey had a different separation distance. Andrew Mickleburgh stated that the eaves were equivalent in height to 1.5 storey. Senjuti Manna clarified that one storey was the height of a typical bungalow and 1.5 storey, the height of a chalet bungalow. The properties in Blagrove Drive were two storey. With regards to residents' concerns about possible loss of light, Andrew Mickleburgh asked how the light survey had been carried out if the homes potentially effected had not been visited. Senjuti Manna stated that the light survey report submitted with the application was based more on if there was a loss of light, the level of compensation required, which was different to other material concerns in planning. The report had not been independently assessed. Officers had looked at the submitted plans and the orientation of the proposal in relation to the existing properties. It was anticipated that there would only be slight overshadowing in the early summer mornings of the bottom of the gardens, as opposed to the habitable rooms. A reduction of height and a 1 metre boundary had been negotiated with the applicant.

Stephen Conway indicated that he had been unable to attend the site visit. He commented that it was difficult to envisage the impact of a new construction on neighbouring properties. Whilst it was a core employment area, it was located next to residential properties. Stephen Conway questioned whether the buffer between the proposed site and the residential area, was sufficient. He was of the view that there may be negative, unacceptable impact on the nearby residential properties. The Borough Design Guide also highlighted the need to take bulk, mass and proximity into account. Stephen Conway questioned whether the plans took the extension in one of the neighbouring properties, into account, and whether a perspective should be sought from the residential properties, particularly number 93.

Rebecca Margetts commented that the proposed building would be very close to the boundary, and that the end of residents' gardens would be impacted. She expressed concern that the light survey had not been carried out from the residential properties.

Alistair Neal queried whether there were conditions regarding separation on the original planning application. Senjuti Manna indicated that she would need to check the planning history. She confirmed that the distance from the boundary to the extension of number 93 was currently 11.9 metres and would be 13.5 metres should a 1 metre boundary be added if the proposal was constructed.

Rachelle Shepherd-DuBey questioned if the extension in number 93 was habitable rooms, and if it was reasonable to expect potential changes if living by an industrial area. Senjuti Manna commented that as there was no conflict with the separation distances, it had not been checked whether the extension was habitable, but it was likely that it was.

Wayne Smith stated that the existing buildings were 7.5 metres, and that the height of the proposed buildings would be 6.2 metres. He questioned how the loss of light had been calculated, and was informed that because of the orientation, much of the time the shadows would fall from the residential properties onto the industrial buildings. Only in early summer would there be some shadowing of the bottom of the gardens, which was not considered sufficiently detrimental to warrant refusal.

Brian Conlon, Operational Lead – Development Management, explained that with regards to the distances within the Borough Design Guide, the prescriptive guidance around rear to side elevations was primarily concerned with maintaining privacy. There was not a privacy issue for this application. There were not windows in the side of the industrial buildings.

Therefore, less weight should be given to the prescriptive distances. Other factors such as the level of overshadowing were considered to be acceptable.

Stephen Conway proposed that application 222513 be refused on the grounds of overbearing and being detrimental to residents in amenity, and in particular number 93 Blagrove Drive. This was seconded by Rebecca Margetts.

RESOLVED: That application 222513 be refused on the grounds of overbearing and being detrimental to residents in amenity, and in particular number 93 Blagrove Drive.

105. APPLICATION 223613 PIGGOT SCHOOL, TWYFORD ROAD, WARGRAVE RG10 8DS

Proposal: Full application for the proposed new multi-use hall, erection of a extension to the existing science block and the retrofit/repurposing of existing dining hall into a new admin block, school entrance and drama hall. Landscaping and erection of 4no. netballs court to rear/side. (Commissioned by WBC).

Applicant: Wokingham Borough Council

The Committee considered a report about this application, set out in agenda pages 61 to 100.

The Committee were advised that updates contained within the Supplementary Planning Agenda included:

- Correction regarding the number of netball courts.

Stephen Conway commented that the application was located within the Green Belt and ordinarily development would not be permitted. However, there were special circumstances which made the application acceptable, the necessary improvement for education facilities in the area.

Andrew Mickleburgh noted that no objections to the proposal had been received from the Ward Members, neighbours or the Parish Council.

Stephen Conway proposed that the application be approved in line with the officer recommendation. This was seconded by Wayne Smith.

RESOLVED: That application 223613 be approved subject to the conditions and informatives set out in pages 71 to 77.

106. APPLICATION 221843 REDDAM HOUSE SCHOOL

Proposal: Full application for the proposed erection of a sports hall and new pool building following demolition of existing ancillary buildings. Creation of new landscaped permeable parking area on the site of an existing car park.

Applicant: Mr Antonio Neto

The Committee considered a report about this application, set out in agenda pages 101 to 136.

Rebecca Margetts commented that the proposal represented an improvement on the existing facilities.

Andrew Mickleburgh proposed that the application be approved in line with the officer recommendation. This was seconded by Stephen Conway.

RESOLVED: That application 221846 be approved subject to conditions and informatives set out in pages 110 to 115 and the completion of S106 legal agreement to secure an Employment Skills Plan.

107. APPLICATION 222319 REDDAM HOUSE SCHOOL

Proposal: Application for listed building consent for the proposed erection of a sports hall and new pool building following demolition of existing ancillary buildings. Creation of new landscaped permeable parking area on the site of an existing car park.

Applicant: Mr Antonio Neto

The Committee considered a report about this application, set out in agenda pages 137 to 158.

Stephen Conway sought clarification on the relationship with the Grade 2 listed building. Stefan Fludger indicated that the whole building included the parts to be demolished, were listed by virtue of being attached to the old mansion, but that the old mansion ended at a specific point. Historic England and the Council's Conservation Officer had not objected to the application.

Andrew Mickleburgh proposed that the application be approved in line with the officer recommendation. This was seconded by Stephen Conway.

RESOLVED: That listed building consent be granted subject to the conditions and informatives set out on pages 143 to 144.

108. APPLICATION 211335 LAND ADJOINING LYNFIELD HOUSE, WHITE HORSE LANE, FINCHAMPSTEAD, BERKSHIRE, RG40 4LX

Proposal: Full application for the proposed change of use of a section of agricultural land to a recreational all-weather cricket track and wicket with mobile cricket cage, plus fencing, parking and associated works.

Applicant: Mr R Bishop

The Committee considered a report about this application, set out in agenda pages 159 to 178.

Nicola Greenwood, resident, spoke in objection to the application. She commented that the square at all the cricket grounds listed in the report, were placed 60 to 150 metres to the nearest road bordering reasonable straight roads or in cul de sac locations. She referred to Twyford in particular. Nicola Greenwood indicated that she had contacted the British Horse Society Director of Safety who had commented that without having visited the site and seen the layout and proximity of the proposed nets, it was in his opinion, misguided to comment on how horses may or may not react to the particular sound stimulus. He had disagreed that horses could become desensitised to the sound of a cricket ball hitting a bat. Only the degree that horses might react, differed. Nicola

Greenwood requested that any approval be conditional on additional horse rider signs being placed at 150 metres either side of the site, the cricket nets placed a minimum of 60 metres from the road, mirroring other similar sites in the Borough, or alternatively it be built as an indoor, sound proofed facility.

David Greenwood, resident, spoke in objection to the application. He stated that as the closest nearby neighbour he and his family were the most impacted by the application, and the noise that would be generated. The sound of a cricket ball hitting a bat had been likened to the sound of a rifle crack. David Greenwood went on to state that CP3 made clear that any development must be without detriment to the amenities of the adjoining land uses and occupiers. He commented that the type of facility proposed could be expected to be located by existing cricket facilities. However, the proposed location was very rural and would introduce an unacceptable level of noise.

Paddy Greenwood, resident, spoke in objection to the application. He emphasised that the NPPF stated that sustainable development must respect the character of the countryside, avoid, and mitigate adverse impacts on, and contribute to the improvement of health and quality of life. Section 15 indicated that new development should not contribute to unacceptable levels of noise pollution, must integrate effectively with existing business, and that existing businesses should not have unreasonable restrictions placed on them as a result of developments permitted after they were established. Paddy Greenwood went on to refer to CP1 and CP3 and Policy CC06.

Rebecca Margetts stated that the land adjoining Lynfield House, White Horse Lane was a very rural location, on a narrow winding lane. The lane was predominantly used by walkers, cyclists, and horse riders. Rebecca Margetts was of the view that the application to change the use of a section of agricultural land to an all weather cricket track, would potentially cause harm to the rural setting. She highlighted that there was no public transport to the site and the only access was via private car, which was not in line with the Climate Emergency Strategy. Whilst the net would be limited to five users, this would still represent significant increased traffic to the lane. The lane could be difficult to navigate due to its bends, and the site sat on a blind bend. Rebecca Margetts highlighted that the NPPF and CP11 of the Core Strategy supported recreational leisure use in the countryside. However, the application was for commercial use not local leisure pursuits. Sport England had been unable to support the application. The need for such a facility had not been proved and there were other facilities locally such as in Finchampstead and Eversley. Whilst the application promoted usage for school age children the proposed opening hours were 9am-5pm when children were at school during the week. Finally, Rebecca Margetts referred to the number of objections from residents and the Parish Council. She suggested that the Committee may wish to undertake a site visit to better understand the rural location and the potential impact on residents and the surrounding environment.

David Cornish commented that his original concerns had centred around development in the countryside. However, he had been advised of other examples of rural development. He stated that until 2018 the area had been agricultural land, and then permission had been given for a farm worker's cottage. Permission was now being sought for business activities. David Cornish stated that whilst he applauded the provision of facilities for young people, Finchampstead Memorial Park was already located very nearby.

Andrew Mickleburgh stated that the application was before the Committee for redetermination after the original approval had been quashed following a Judicial Review.

He queried whether any new information in addition to the report from an Equine Behavioural Specialist and letters from the owners from Wheatlands Farm, had been received since the original application. Mark Croucher, case officer, stated that there had been third party representations, which the Committee were aware of. Andrew Mickleburgh sought clarification on the reasons for the quashing of the original application following the Judicial Review, and whether this included the impact of noise on all horses and riders in the vicinity, including users of White Horse Lane, and not purely on Wheatlands Farm. Mark Croucher explained that the consent order stated that the Council had failed to ensure that it had sufficient expertise to address the objection to the proposed development that the sudden surprising noise of a ball striking a cricket bat, would spook horses being recreationally ridden down White Horse Lane. It had considered that the report was inadequate in addressing this issue. The Equine Behaviour Specialist report took into account those horses using the wider area of White Horse Lane.

Andrew Mickleburgh noted that Sport England had not been able to support the application as there was no proven need for the facilities. He queried how much weight should be given to Sport England's submission and whether evidence would be required that a sequential test had been applied, should a need be identified. Mark Croucher advised that weight should be given to the comments, but they needed to be considered in context. Sport England had been unable to support the application, mainly because they did not have the information that the proposal was English Cricket Board compliant, or information from the County Cricket Board regarding need. However, the policy requirement referred to leisure usage in the countryside rather than the level of need. Andrew Mickleburgh questioned the relationship between Lyndfield House and the nets, and whether users of the nets would have access to toilet facilities and storage. Mark Croucher indicated that the nets were separate to Lyndfield House, and users would not have access to the property.

In response to a Member question regarding the Finchampstead Neighbourhood Development Plan and whether maintaining a separation gap between a developed area could be a material planning consideration, Mark Croucher stated that only limited weight could be given to the Finchampstead Neighbourhood Development Plan. It was currently at independent assessment. The area of separation was to the north of the site and did not specifically cover the plot.

Alistair Neal questioned whether enforcement action was being taken regarding the enclosure of agricultural land. Mark Croucher explained that it was dependent on the outcome of the application. If refused, the enforcement process could be undertaken. Alistair Neal went on to state that the site was in a prominent location in the countryside and questioned how CP11 could be considered to support the application. Mark Croucher commented that it was considered to promote the recreation enjoyment of the countryside. In terms of visual impact, the Council's Landscape Officer had not felt that excessive expansion or encroachment would be caused..

Wayne Smith sought clarification about the boundary.

Rachelle Shepherd-DuBey asked about the possible impact of the noise of agricultural machinery and dirt bikes in the surrounding area, on horses. Mark Croucher commented that some agricultural processes could make noise. The road itself as opposed to the bridleway had been focused on, and some vehicles were louder than others. It was clarified that the bridleway was secured at both end and would be difficult to access on a dirt bike.

In response to a Member question regarding the determination of the application, Mark Croucher indicated that the Committee was required to consider the application afresh.

Stephen Conway questioned available parking and was informed that three spaces had been identified. Highways had considered this to be sufficient as it would be small scale usage. Stephen Conway questioned which direction the nets would be facing, and if there was any possibility of cricket balls being hit into the road. He was informed that the nets would be mobile and could be directed either way. The separation distance and level of vegetation provided some mitigation.

David Cornish clarified that the site was within the area of important separation identified in the Finchampstead Neighbourhood Development Plan. He added that whilst Highways had not identified issues with car parking, they had recommended refusal due to the accessibility of the site.

Stephen Conway proposed that the application 211335 be deferred to enable a site visit. This was seconded by Wayne Smith.

RESOLVED: That application 211335 be deferred to enable a site visit.

Stephen Conway thanked John Kaiser for his service to the Committee over a number of years. He was a valued member of the Committee and had a lot of planning knowledge. Stephen Conway went on to thank the officers who had supported the Committee over the year. Rachelle Shepherd-DuBey thanked Members for their work over the year.

Agenda Item 113.

Application Number	Expiry Date	Parish	Ward
211335	30.04.2022	Finchampstead	Finchampstead South;

Applicant	Mr R Bishop
Site Address	Land adjoining Lynfield House, White Horse Lane, Finchampstead, Berkshire, RG40 4LX
Proposal	Full application for the proposed change of use of a section of agricultural land to a recreational all-weather cricket track and wicket with mobile cricket cage, plus fencing, parking and associated works.
Type	Full
Officer	Mark Croucher
Reason for determination by committee	<p>Listed by Councillor R Margetts for the following reasons:</p> <ul style="list-style-type: none"> • Inappropriate development in the countryside. • Inappropriate change of use of land from agricultural to commercial development. • Noise levels from the change of use of the site would be detrimental to surrounding residents. • There are no public transport links to the site so development would encourage car use and increase the traffic on a small lane which is unsuitable for this level of use. • There are suitable cricket nets at other areas within the parish / settlement in more sustainable locations, so this is unnecessary development.

FOR CONSIDERATION BY	Planning Committee on Wednesday 10 May 2023
REPORT PREPARED BY	Assistant Director – Place and Growth
RECOMMENDATION	APPROVAL subject to conditions and informatives.

SUMMARY

The application was deferred at the Planning Committee meeting on 12.04.2023 for the sole reason of having a site visit with members so they can see the site in context with the surrounding environment. The site visit will take place the Friday before the Planning Committee meeting on 05.05.2023. The application is therefore before the committee again for determination.

The NPPF and CP11 of the Core Strategy broadly support recreational and leisure uses within the countryside. The encroachment of the practice net beyond the residential curtilage of Lynfield House is not excessive and the Council's Landscape Officer raises no objections. The proposal is for one cricket practice net and a condition limits the number of users to 5 at any one time, therefore the use is not considered high intensity. The Council has obtained the opinion of an Equine Behaviour Specialist and it is considered there would be no detrimental impact on horses or Horse Riders using White Horse Lane. There is sufficient

parking capacity for the proposed use. There are no other impacts that weight negatively in the planning balance.

Taking all the relevant factors into consideration, the proposal is recommended for approval subject to the recommended conditions.

RELEVANT PLANNING HISTORY		
Application No.	Description	Decision & Date
181777	Reserved matters application pursuant to Outline planning consent 160706 (04/08/17) Full application for the erection of a farm workers cottage, appearance, landscaping, layout and scale to be considered.	Approved 17/09/18
170693	Permitted development notification for the proposed installation of 1 x 0.3m microwave dish link on the existing structure.	Replied 28/03/17
160706	Outline application for the erection of a farm workers dwelling. (Access to be considered)	Refused 30/06/16 Appeal allowed 04/08/17
F/2004/2544	Proposed erection of a replacement 24m high lattice tower with 3 x '3' antennae, 2 'x 3' 600mm diameter transmission dishes, '3' ground equipment cabinets together with relocation of 02 antennae and ancillary development including removal of existing 20m high lattice tower	Approved 29/09/04
F/2001/4809	Proposed erection of 20 metre high lattice mast with 3 x 4 stack antennas, 2 dish antennas and one radio equipment cabin.	Refused 27/12/01 Appeal allowed 12/08/02

DEVELOPMENT INFORMATION	
Previous land use	Agriculture
Existing parking spaces	0
Proposed parking spaces	3
CONSTRAINTS	<ul style="list-style-type: none"> • Countryside • Nitrate Vulnerable Zones Groundwater and Surfacewater • Grade 3 Agricultural Land Classification • SSSI Impact Risk Zones • Thames Basin Heaths SPA Mitigation Zones (5 km) • Water Utility Consultation Zones • Affordable Housing Thresholds • Bat Roost Habitat Suitability

- Farnborough Aerodrome Consultation Zone
- Landscape Character Assessment Area
- Local Plan Update Submitted Sites

CONSULTATION RESPONSES

WBC Environmental Health	Recommend approval with no conditions.
WBC Drainage	Recommend approval with no conditions.
WBC Highways	Recommend refusal due to the accessibility of the site.
WBC Landscape and Trees	Recommend approval with no conditions.
Sport England	Unable to support.
Equine Behaviour Specialist	No objection.

REPRESENTATIONS

Town/Parish Council:

- 1.The emerging Finchampstead Neighbourhood Plan identifies this location as part of a Key Gap within the Parish, so designated in order to prevent the coalescence of settlements. Therefore, this proposal is in breach of draft policy GS1
- 2.Noise levels that would impact on equine horse owners that could cause distress and danger to pedestrians and vehicles
- 3.Inappropriate change of use from agricultural to commercial development in the countryside
- 4.There is an agricultural tie on the property

Local Members:

Councillor R Margetts:

- Inappropriate development in the countryside.
- Inappropriate change of use of land from agricultural to commercial development.
- Noise levels from the change of use of the site would be detrimental to surrounding residents.
- There are no public transport links to the site so development would encourage car use and increase the traffic on a small lane which is unsuitable for this level of use.
- There are suitable cricket nets at other areas within the parish / settlement in more sustainable locations, so this is unnecessary development.

Councillor D Cornish:

- This is development in the countryside, contrary to WBC policy CP11.
- This proposal is for a development outside of existing Development Limits and is therefore contrary to policy ADH2 of the emerging Finchampstead Neighbourhood Development Plan, which states that 'New development proposals should be contained within the Development Locations'.

- This proposal is for a development in an area identified by the emerging Finchampstead Neighbourhood Development Plan as an 'Important Area of Separation' and therefore contravenes policy GS1 of the emerging Finchampstead Neighbourhood Development Plan. 4. This proposal represents a change of use from agricultural land to commercial use, in an area with strong agricultural heritage. (Officer Note: In line with legislation, a six-week consultation (Regulation 16) was undertaken on the submitted plan from 12 October to 23 November 2022. The plan is process of being examined)
- This development will increase traffic in White Horse Lane; a small road much used by walkers, cyclists and horse riders, thereby contrary to the current WBC strategy of promoting active travel.
- Planning Appeal decision APP/X0360/W/16/3165765 overturned a decision of WBC and gave permission for the building now known as Lynfield House as a 'Farm Workers Dwelling'. The applicant is the resident of Lynfield House and the proposed development site shares an entrance with Lynfield House. The application is clearly for the development of a sports coaching business and therefore breaches the conditions set for the building of Lynfield House (i.e for use as an Agricultural Workers Dwelling) and also requires a separate Planning Application for change of use to Business Premises. (Officer Note: The use of the Cricket is for Phil West Cricket Coaching Ltd and they do not live at Lynfield House)

Neighbours:

93 comments received (some duplication). 51 received with the original application – 42 received for the re-determination.

- Inappropriate for the area
- Noise (including impact on horse riders, spectators, and amenity)
- Traffic
- Highway safety (including to horses)
- Impact on horse riding (including noise)
- Impact on wildlife (Deer, red kites, bats, foxes and other wildlife and impact of nets)
- Detrimental impact on the character
- Traffic generation
- Adequacy of parking (sited on access to telecommunications mast)
- Disturbance
- Operating times
- No public transport links
- Number of people using facility
- Existing provision of facilities
- Financial viability of proposal
- Impact on existing leisure facilities (horse riding)
- Impact on green gap
- Adjacent dwelling for an agricultural worker
- Potential for further development (Officer Note: This is not a material planning consideration).
- Suitability of access road (White Horse Lane)
- No need for facility
- Additional nets (if required) should be provided at existing facilities
- Sustainability

- Impact of proposed material on ecoculture
- Countryside location
- Need for affordable cricket coaching.
- Lessons paid for and already being offered nearby
- This coach is not offering free lessons and already coaches at Finchampstead, so there is no further or significant community benefit offered by this proposal to what exists locally in more accessible facilities already
- Safety of nearby horses
- Siting of access on bend
- Impact on the business at Wheatlands Farm
- Impact on use of bridlepaths by horse riders
- Proposed development sited on agricultural land
- Clarification whether for commercial or personal use (Officer Note: For commercial use)
- Impact on curtilage of existing dwelling
- Accuracy of plans relating to the access way to the compound for the telecommunications mast represents parking provision.
- Parking provision
- No provision is made for toilets.
- No financial appraisal is provided to confirm financial viability and sustainability of the proposal.
- Insufficient information submitted in respect of noise and ecology
- It is unclear who will manage and control this facility on a day-to-day basis as the proposed operator operates from 12 cricket circles and is coach at Finchampstead Cricket Club
- Impact on the existing provision of horse riding
- Supportive of the provision accessibility of cricket to children in the surrounding area
- Impact on the landscape
- Impact on biodiversity (reference CP7)
- Impact on protected species habitats or mitigation strategy.
- No ecological reports submitted with the application
- Encroachment into the countryside, increasing built form, eroding the open character of the area.
- Unsuitable intensification of use of the site (including change of use to recreational purposes)
- Conflict with NPPF (References to 8c, 170 and 180)
- Conflict with local neighbourhood plans (protection of the rural character of the area, and protect/enhance natural environment and green spaces (IRS3) (Officer Note: In line with legislation, a six-week consultation (Regulation 16) was undertaken on the submitted plan from 12 October to 23 November 2022. The plan is process of being examined)
- Contrary to agricultural occupant condition. (Officer Note: The use of the Cricket is for Phil West Cricket Coaching Ltd and they do not live at Lynfield House)

PLANNING POLICY	
National Policy	National Planning Policy Framework (NPPF) National Planning Policy Guidance (NPPG) National Design Guide

Core Strategy (CS)	CP1 – Sustainable Development CP2 – Inclusive Communities CP3 – General Principles for Development CP6 – Managing Travel Demand CP7 – Biodiversity CP8 – Thames Basin Heaths Special Protection Area CP9 – Scale and Location of Development Proposals CP11 – Proposals Outside Development Limits CP15 – Employment Development CP17 – Housing Delivery
MDD Local Plan (MDD)	CC01 – Presumption in Favour of Sustainable Development CC02 – Development Limits CC03 – Green Infrastructure, Trees and Landscaping CC04 – Sustainable Design and Construction CC06 – Noise CC07 – Parking CC09 – Development and Flood Risk CC10 – Sustainable Drainage TB08 – Open Space, Sport and Recreational Facilities Standards TB21 – Landscape Character
Draft Finchamstead Neighbourhood Plan	ADH1 – Development outside Development Limits D2 – Preserving the rural character of the parish GS1 – Key Local Gaps, Green Wedges and other important areas to maintain the separation of settlements. IRS6 – Trees GA1 - Improve environment and health from traffic pollution GA2 - Reduction in car usage with safe personal mobility options TC1 - Supporting Business
Other	Borough Design Guide Supplementary Planning Document CIL Guidance + 123 List Sustainable Design and Construction Supplementary Planning Document

PLANNING ISSUES

Procedure:

1. The description of development was originally approved on 04.08.2021. The decision was Judicially Reviewed and quashed after the council acknowledged the report had failed to adequately address the impact on horses, particularly regarding horses being 'spooked' by the sudden loud noise of a cricket ball being hit by a bat.
2. This application is therefore a redetermination of that proposal, and this report sets out justification for an unchanged recommendation.
3. As part of the redetermination process the council consulted an Equine Specialist and their comments are reference throughout this report. The council also reconsulted neighbouring residents, providing an opportunity to consider the Equine Specialist comments. 41 additional comments were received and these are summarised above.
4. The application was deferred at the previous Planning Committee meeting on 12.04.2023 for the sole reason of having a site visit with members so they can see

the site in context with the surrounding environment. The site visit will take place the Friday before the Planning Committee meeting on 05.05.2023. The application is therefore before the committee again for determination.

Site Description:

5. The application site (0.04 hectares) is located on the north-western side of White Horse Lane which is approximately 3.7 metres wide with no street lighting or footpaths.
6. The application site is to the south of Lynfield House (see planning history above) and is shown to be adjacent to the existing post and rail fence. The application site also includes land to the west of Lynfield House which is currently laid with hardstanding.
7. The application site is located in an elevated position.
8. To the south of the application site is a telecommunications mast. To the northwest is an agricultural barn. To the west along White Horse Lane are a small cluster of farm buildings and dwellings including Wheatlands Farm which has a livery and a menage.

Planning History:

9. Outline planning permission (LPA ref: 160706) was granted at appeal in August 2017 for erection of a farm workers dwelling, the property is now known as Lynfield House.
10. The subsequent reserved matters application (LPA ref: 181777) showed on the site plan a post and rail fence with native species hedge, 5.75 metres to the south of the dwelling.

Description of Development:

11. Planning permission is sought for change of use of a land from agricultural land to a recreational all-weather cricket track and wicket with mobile cricket cage (permanently positioned), plus fencing, parking and associated works. The proposed site plan shows 3 car parking spaces.
12. The proposed net would be 3.7m by 10m. it includes a post and rail fence to the north-east and south of the net and track. The proposed hours of operation are 9-5 daily.
13. There appears to be some discrepancy on the drawings. On the Block Plan the existing fence is shown 4m to the north of the mast enclosure. On site the existing fence runs adjacent to the corner of the mast enclosure. This will be referred to Planning Enforcement for investigation once this application is determined.
14. The proposal is for the cricket track, wicket and cage to be located next to the post and rail fence enclosing Lynfield House, on agricultural land.

Principle of Development and Character of the Area:

15. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay unless material considerations indicate otherwise.

16. The application site is located in the designated countryside. Policy CP11 of the Core Strategy relates to proposals outside development limits (including countryside) sets out:

In order to protect the separate identity of settlement and maintain the quality of the environment, proposals outside of development limits will not normally be permitted except where:

- 1) It contributes to diverse and sustainable rural enterprises within the borough, or in the case of other countryside-based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside; and*
- 2) It does not lead to excessive encroachment or expansion of development away from the original buildings;*

17. Para 84 (c) of the NPPF states that decision should enable ‘*sustainable rural tourism and leisure developments which respect the character of the countryside*’.

18. Whilst the cricket strip will be for private coaching, it is a leisure activity and therefore broadly encouraged by the Framework, subject to the impact on the character of the countryside.

19. The Finchampstead Neighbourhood Plan is at the examination stage and the policies therein only carry limited weight at this stage and may be subject to changes. Policy ADH1 refers to housing development outside of development limits and is silent on leisure or business uses.

20. The proposal would encroach beyond the lawful garden of the neighbouring property into agricultural land, but this change of use would not be excessive for the reasons set out in the following section. Overall, the proposed development broadly complies with policy CP11 and para 84 of the NPPF.

Impact on character and appearance of the countryside and the area.

21. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high-quality design without detriment to the amenities of adjoining land uses and occupiers.

22. The development would encroach marginally beyond the curtilage of the neighbouring residential property. The impact would be negligible due to the narrow

width of the application site, absence of any substantial solid structures and containment within the existing visual envelope of the house and a telephone mast.

23. The site is well screened from the road and the proposal would not be visually prominent. There is a public right of way to the east, across existing open fields, but the proposal would be seen within the envelope of existing development. There would be no excessive or harmful encroachment on the countryside.

24. The council's Tree and Landscape officer has not objected to the application.

Neighbouring Amenity:

Overlooking, Loss of Light, and Overbearing:

25. The proposed development would be located to the south of Lynfield House. On the southern elevation of Lynfield House there are windows serving habitable rooms.

26. Within the approved details for the dwelling, boundary treatment is a 1.4m post and rail fence with native hedge.

27. The proposed development is a private enterprise and given the proximity between the existing dwelling and the proposed development there is the potential for a loss of privacy. This can be mitigated by boundary treatment secured by a condition. Further, the planting proposed as part of the application for the house will screen the site once it becomes established.

28. Impact regarding noise is considered in the Environmental Health section of this report.

Highway Access and Parking Provision:

29. The proposal is to make use of the existing access serving the dwelling and to provide 3 off street parking spaces to serve the proposed development. The three off street parking spaces are proposed on an existing access track to a telecommunications mast. The application has been reviewed by the Council's Highway Engineer and no objection has been made in respect of highway safety.

30. Whilst the parking spaces would be located in front of the telephone mast, parked cars would be transient, and the mast would still be accessible to engineers and for maintenance.

31. The council's Highway Engineer has raised an objection based on the observation that people would be reliant on driving to the site and there are no realistic public transport options. As set out in the Principle of Development section, policy CP11 and the NPPF broadly promotes recreational uses and sports provision within the countryside and it is implicit that many such uses will not benefit from the same sustainable transport opportunities as those in urban areas. The proposal is one practice net limited by condition to 5 people at any one time, therefore recognised as being modest in scale. Taking into consideration the broad policy support for such uses in the countryside and the small scale of the proposal no objection on sustainable location grounds is raised.

Flooding and Drainage:

32. The development is in Flood Zone 1 according to the Environment Agency mapping. The Council's Drainage Engineer has reviewed the application and does not consider that the proposed development would affect or increase flood risk. The proposed 3 parking spaces would be located on an already impermeable area. Accordingly, there is no objection on this basis.

Ecology:

33. The lawful use of the application site is agricultural land. There are no distinctive ecological features or habitats that would be impacted by the development. The application site is located within a bat roost suitability area, given the nature of the proposed development a bat assessment has not been requested.

Environmental Health:

34. The Council's Environment Health Officer has been consulted on the application who has raised no objection on the basis that the proposed use is in a relatively remote location. Neighbouring properties to the west are approximately 65 metres away from the site and are screened by planting and trees either side of White Horse Lane. To the north, east and south are open fields. Noise from the activity is unlikely to have any detrimental impact on residential amenity.

Noise Impact on Horses and Road Users:

35. Local representations refer to the noise impact on horses. This includes horses using White Horse Lane and horses at a livery c.300m to the north of the site. Reference is made to the nature of the sound caused by the sudden and loud impact of a cricket ball being hit. The physical attributes of White Horse Lane being a single carriageway with bends in the road has also been raised by third party comments.
36. White Horse Lane is a single carriageway road that is typical of countryside lanes. There are bends in the road and one is located close to the application site. The road is open to all traffic and objection letters refer to the noise impact on horses and riders using the road.
37. Sustainable leisure activities and business uses are supported by Policy CP11 and the NPPF in rural locations. There is nothing inherently incompatible with a practice cricket net 25 metres away from a public road. Cricket is a common activity throughout the UK and occurs in variety of locations next to schools, houses, roads and in countryside locations. There are multiple pitches and practice nets in the borough near public highways, including at Arborfield Green, Shinfield Cricket Club, Finchampstead Sports Club, Hurst, Twyford, Sonning and Wargrave. Two additional cricket pitches at Farley Hill Cricket Club and Reading Cricket Club, are closer to equestrian uses than the application site. There is no evidence that these existing facilities are incompatible with road users or such equestrian activities.
38. Whilst the sound of cricket ball being struck creates a short burst of sound, it is not akin to a gunshot, which has been suggested by some comments. Cricket is played without ear protection and is safely watched by spectators. Indoor practice sessions,

where noise reverberate around the space also occurs without the necessity of ear protection. As stated above it is a common activity played in range of locations adjacent to a variety of other uses and receptors. In principle therefore, it is not accepted that this is a matter that would create severe impacts or would justify the refusal of permission.

39. For the avoidance of doubt and given the previous challenge, the Council has consulted an Equine Behaviour Specialist who has advised that horses quickly habituate to new stimulus around them and that it is unlikely that horses at the livery or passing the proposed development would be unexpectedly disturbed by the noise of a ball being struck by a cricket bat. They also suggested that insofar as such issues might arise, they can be avoided or mitigated through understanding the hours of operation of the facility and conditioning undertaken by horse owners so that the animals become used to any expected sounds. The summary of the Equine Specialist's advice is:

Horses are reactive to unseen novel auditory stimuli but their behavioural response to these stimuli will wane over time during repeated presentation of the stimuli (habituation). The horses at Wheatlands farm equestrian facility are in close proximity to the planned development site and the repeated presentation over time of the impact sound of a cricket ball being struck by bat will likely result in horses habituating to this auditory stimulus. In addition, the nature of cricket practice and the repeated sound of ball being struck by bat is such that the arrival of a loud unexpected presentation of the auditory stimulus at the point of a horse and rider passing the planned development site is unlikely. The latter can potentially be mitigated through regular updated communication between equestrian and cricket practice establishments. The behavioural responses of horses that sensitise to the sound of the auditory stimulus can be significantly attenuated through standard behavioural modification techniques."

40. The Equine Specialist advised that the nature of cricket practice and the repeated sound of ball being struck by bat is such that the arrival of a loud unexpected presentation of the auditory stimulus at the point of a horse and rider passing the planned development site is unlikely.
41. The proposed use would be known by local riders and therefore any noise and the nature of sound would be expected. The operating hours are set out in the application form and will be controlled by condition so are likely to be consistent for each day. Therefore riders would know that the noise of a cricket ball being struck could be heard when riding on this section of the road.
42. With regard to particularly sensitive horses, it is appropriate also to bear in mind that horse riders bear some responsibility for the safety of their horse and other highway users. The Highway Code sets out how highway users should use public roads safely, and this includes horse riders and vehicular traffic. Rule 52 states riders should ensure they can control the horse and ride with other less nervous horses if it is nervous of traffic. The Equine Specialist has advised that if horses are affected by noise this can be counter-conditioned to make them accustom to such stimuli.
43. In addition to the comments by the Equine Specialist, there are intermittent features between the practice net, White Horse Lane and stables/livery. These include

buildings, trees and hedgerows, which would partially screen noise from the site. The livery itself would be approximately 270 metres to the northwest.

44. It is also of some relevance that the proposed cricket net is not for competitive use and is intended to be used by children rather than professionals or adults so the intensity of the activity is reasonably likely to be lower.
45. Hours of operation and number of persons using the practice net are controlled by condition, providing a degree of constancy regarding the nature of the use.
46. In summary, the response from the Equine Specialist confirms the Council's view that use of the practice net is not incompatible or otherwise unacceptable on account of noise impacts for equestrians or horses. It would not cause undue safety or welfare issues for horses and riders using White Horse Lane or the livery/stables to the northwest.

Sport England:

47. Sport England highlight that whilst there is a suggested need for this additional 'private' facility as detailed in the Design, Access and Justification Statement, it has not been proven. Sport England require more detailed information in support of the application (including details from the county cricket board). Sport England note that the application would need to be English Cricket Board compliant in its technical details.
48. The proposed cricket strip is for practice and coaching. It is not for competitions or matches and therefore the requirement to comply with Sports England's recommendations would be overly onerous and not required in this instance.

Special Protection Area Thames Basin Heath (SPA TBH):

49. The application site lies within 5km of the TBH SPA, given the nature of the proposed development there is not considered to be any conflict with Policy CP8 of the Core Strategy. The proposed development of a cricket pitch is not considered to alone or in combination with other development to have a significant effect on the TBH SPA and therefore no mitigation is required.

Conclusion:

50. The NPPF and CP11 of the Core Strategy are broadly supportive of recreational and leisure uses within the countryside. The encroachment of the practice net beyond the residential curtilage of Lynfield House is not excessive and the council's Landscape Officer raises no objections. The use would be low-key as the proposal is for one cricket practice net and a condition limits the number of users to 5 at any one time. The council has obtained the opinion of an Equine Behaviour Specialist and it is considered there would be no detrimental impact on horses or Horse Riders using White Horse Lane. There is sufficient parking capacity for the proposed use. There are no other impacts that weight negatively in the planning balance.
51. Taking all the relevant factors into consideration, the proposal is recommended for approval subject to the recommended conditions.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions / informatives

APPROVAL subject to the following conditions and informatives:

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered RJ/01/RG40 4LS; RJ/02/RG40 4LS; RB01/VI and RB02/VI received by the local planning authority. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Hours of use

The use hereby permitted shall only operate between the hours of 9:00 – 17:00 Monday to Sundays.

Reason: To protect residential amenity and the character of the countryside.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no external lighting shall be installed on the site or affixed to any structure on the site.

Reason: To protect the character and appearance of the countryside and neighbour amenity. To ensure the use does not have an ecology impact and disturb bats.

5. The use of the cricket strip/net hereby approved shall be limited to no more 5 persons at anyone time.

Reason: To ensure adequate parking capacity and protect the amenity of neighbouring residents.

6. Amplified music

No sound amplifying equipment, which could result in noise levels outside the boundary of the application site, shall be installed or used at the premises hereby approved. *Reason: To safeguard the residential amenities of nearby residents and the area generally from noise and disturbance. Relevant policy: NPPF Section 15 (Conserving and Enhancing the Natural Environment), Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.*

7. Details of boundary walls and fences etc

Before the development hereby permitted is commenced details of all boundary treatment(s) shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

Reason: In the interests of amenity and highway safety. Relevant policy: Core Strategy policies CP1, CP3 and CP6.

Informatives

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant.

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Location Plan - Cricket net & associated existing parking



The land app

WOOLLEY & WALLIS



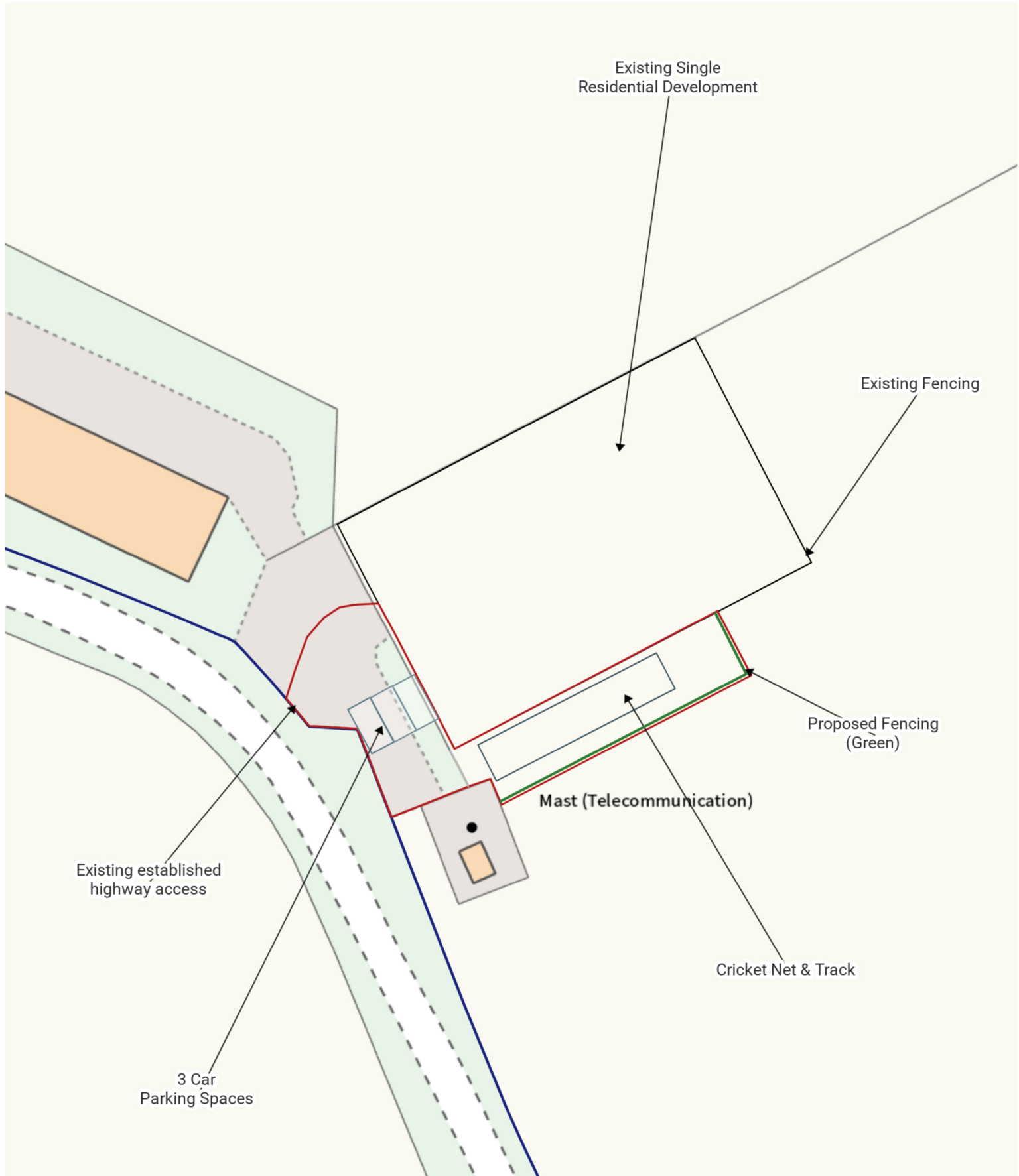
White Horse Lane

Mast (Telecommunication)



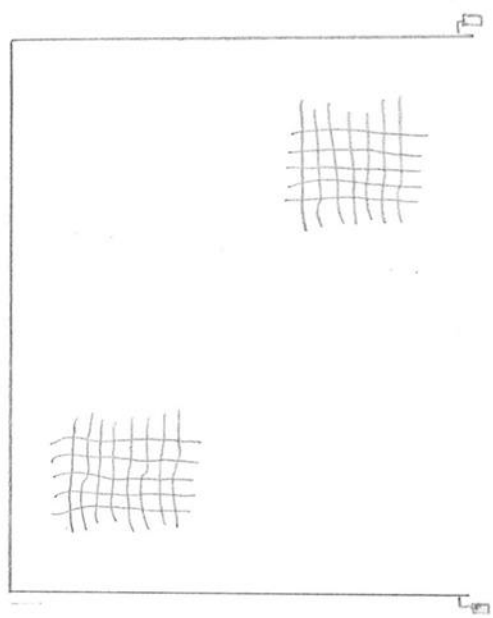
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Cricket Net & associated existing parking



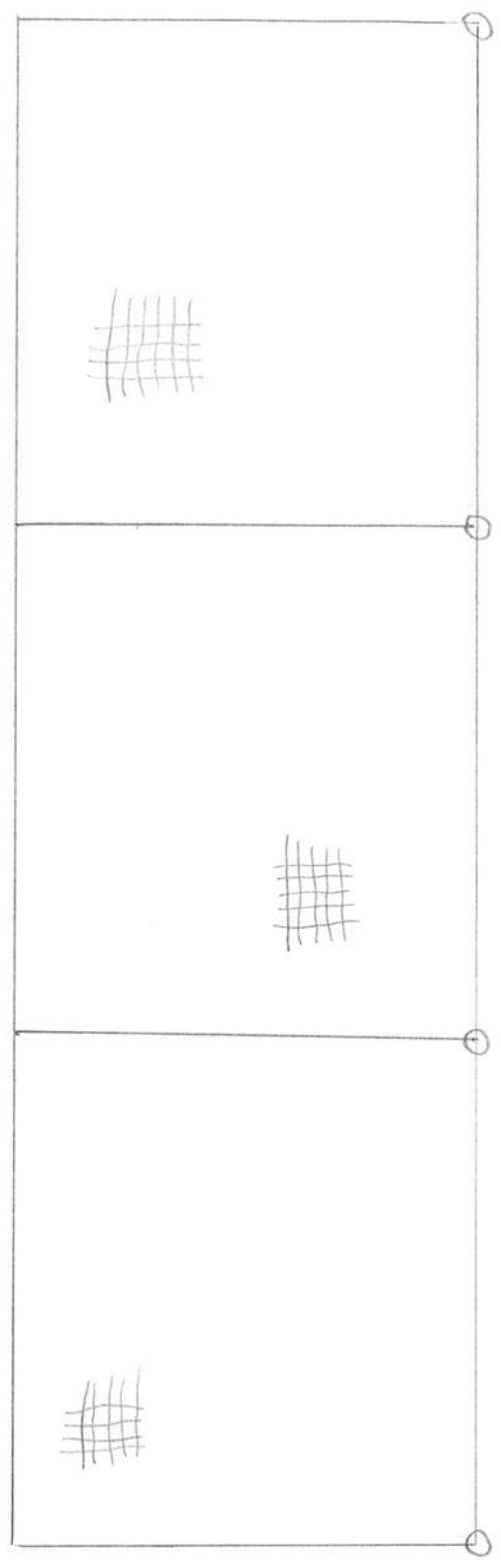
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Proposed Elevations for Cricket Net
at Lyngfield House, White Horse Lane



East + West Elevation

North + South Elevation



1:50 @ A4

Ref: RB/02/V1

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Extract from Draft Minutes of a Meeting of the Planning Committee Held on 12 April 2023 – Application Number 211335

108. APPLICATION 211335 LAND ADJOINING LYNFIELD HOUSE, WHITE HORSE LANE, FINCHAMPSTEAD, BERKSHIRE, RG40 4LX

Proposal: Full application for the proposed change of use of a section of agricultural land to a recreational all-weather cricket track and wicket with mobile cricket cage, plus fencing, parking and associated works.

Applicant: Mr R Bishop

The Committee considered a report about this application, set out in agenda pages 159 to 178.

Nicola Greenwood, resident, spoke in objection to the application. She commented that the square at all the cricket grounds listed in the report, were placed 60 to 150 metres to the nearest road bordering reasonable straight roads or in cul de sac locations. She referred to Twyford in particular. Nicola Greenwood indicated that she had contacted the British Horse Society Director of Safety who had commented that without having visited the site and seen the layout and proximity of the proposed nets, it was in his opinion, misguided to comment on how horses may or may not react to the particular sound stimulus. He had disagreed that horses could become desensitised to the sound of a cricket ball hitting a bat. Only the degree that horses might react, differed. Nicola Greenwood requested that any approval be conditional on additional horse rider signs being placed at 150 metres either side of the site, the cricket nets placed a minimum of 60 metres from the road, mirroring other similar sites in the Borough, or alternatively it be built as an indoor, sound proofed facility.

David Greenwood, resident, spoke in objection to the application. He stated that as the closest nearby neighbour he and his family were the most impacted by the application, and the noise that would be generated. The sound of a cricket ball hitting a bat had been likened to the sound of a rifle crack. David Greenwood went on to state that CP3 made clear that any development must be without detriment to the amenities of the adjoining land uses and occupiers. He commented that the type of facility proposed could be expected to be located by existing cricket facilities. However, the proposed location was very rural and would introduce an unacceptable level of noise.

Paddy Greenwood, resident, spoke in objection to the application. He emphasised that the NPPF stated that sustainable development must respect the character of the countryside, avoid, and mitigate adverse impacts on, and contribute to the improvement of health and quality of life. Section 15 indicated that new development should not contribute to unacceptable levels of noise pollution, must integrate effectively with existing business, and that existing businesses should not have unreasonable restrictions placed on them as a result of developments permitted after they were established. Paddy Greenwood went on to refer to CP1 and CP3 and Policy CC06.

Rebecca Margetts stated that the land adjoining Lynfield House, White Horse Lane was a very rural location, on a narrow winding lane. The lane was predominantly used by walkers, cyclists, and horse riders. Rebecca Margetts was of the view that the application to change the use of a section of agricultural land to an all weather

Extract from Draft Minutes of a Meeting of the Planning Committee Held on 12 April 2023 – Application Number 211335

cricket track, would potentially cause harm to the rural setting. She highlighted that there was no public transport to the site and the only access was via private car, which was not in line with the Climate Emergency Strategy. Whilst the net would be limited to five users, this would still represent significant increased traffic to the lane. The lane could be difficult to navigate due to its bends, and the site sat on a blind bend. Rebecca Margetts highlighted that the NPPF and CP11 of the Core Strategy supported recreational leisure use in the countryside. However, the application was for commercial use not local leisure pursuits. Sport England had been unable to support the application. The need for such a facility had not been proved and there were other facilities locally such as in Finchampstead and Eversley. Whilst the application promoted usage for school age children the proposed opening hours were 9am-5pm when children were at school during the week. Finally, Rebecca Margetts referred to the number of objections from residents and the Parish Council. She suggested that the Committee may wish to undertake a site visit to better understand the rural location and the potential impact on residents and the surrounding environment.

David Cornish commented that his original concerns had centred around development in the countryside. However, he had been advised of other examples of rural development. He stated that until 2018 the area had been agricultural land, and then permission had been given for a farm worker's cottage. Permission was now being sought for business activities. David Cornish stated that whilst he applauded the provision of facilities for young people, Finchampstead Memorial Park was already located very nearby.

Andrew Mickleburgh stated that the application was before the Committee for redetermination after the original approval had been quashed following a Judicial Review. He queried whether any new information in addition to the report from an Equine Behavioural Specialist and letters from the owners from Wheatlands Farm, had been received since the original application. Mark Croucher, case officer, stated that there had been third party representations, which the Committee were aware of. Andrew Mickleburgh sought clarification on the reasons for the quashing of the original application following the Judicial Review, and whether this included the impact of noise on all horses and riders in the vicinity, including users of White Horse Lane, and not purely on Wheatlands Farm. Mark Croucher explained that the consent order stated that the Council had failed to ensure that it had sufficient expertise to address the objection to the proposed development that the sudden surprising noise of a ball striking a cricket bat, would spook horses being recreationally ridden down White Horse Lane. It had considered that the report was inadequate in addressing this issue. The Equine Behaviour Specialist report took into account those horses using the wider area of White Horse Lane.

Andrew Mickleburgh noted that Sport England had not been able to support the application as there was no proven need for the facilities. He queried how much weight should be given to Sport England's submission and whether evidence would be required that a sequential test had been applied, should a need be identified. Mark Croucher advised that weight should be given to the comments, but they needed to be considered in context. Sport England had been unable to support the application, mainly because they did not have the information that the proposal

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was English Cricket Board compliant, or information from the County Cricket Board regarding need. However, the policy requirement referred to leisure usage in the countryside rather than the level of need. Andrew Mickleburgh questioned the relationship between Lyndfield House and the nets, and whether users of the nets would have access to toilet facilities and storage. Mark Croucher indicated that the nets were separate to Lyndfield House, and users would not have access to the property.

In response to a Member question regarding the Finchampstead Neighbourhood Development Plan and whether maintaining a separation gap between a developed area could be a material planning consideration, Mark Croucher stated that only limited weight could be given to the Finchampstead Neighbourhood Development Plan. It was currently at independent assessment. The area of separation was to the north of the site and did not specifically cover the plot.

Alistair Neal questioned whether enforcement action was being taken regarding the enclosure of agricultural land. Mark Croucher explained that it was dependent on the outcome of the application. If refused, the enforcement process could be undertaken. Alistair Neal went on to state that the site was in a prominent location in the countryside and questioned how CP11 could be considered to support the application. Mark Croucher commented that it was considered to promote the recreation enjoyment of the countryside. In terms of visual impact, the Council's Landscape Officer had not felt that excessive expansion or encroachment would be caused..

Wayne Smith sought clarification about the boundary.

Rachelle Shepherd-DuBey asked about the possible impact of the noise of agricultural machinery and dirt bikes in the surrounding area, on horses. Mark Croucher commented that some agricultural processes could make noise. The road itself as opposed to the bridleway had been focused on, and some vehicles were louder than others. It was clarified that the bridleway was secured at both end and would be difficult to access on a dirt bike.

In response to a Member question regarding the determination of the application, Mark Croucher indicated that the Committee was required to consider the application afresh.

Stephen Conway questioned available parking and was informed that three spaces had been identified. Highways had considered this to be sufficient as it would be small scale usage. Stephen Conway questioned which direction the nets would be facing, and if there was any possibility of cricket balls being hit into the road. He was informed that the nets would be mobile and could be directed either way. The separation distance and level of vegetation provided some mitigation.

David Cornish clarified that the site was within the area of important separation identified in the Finchampstead Neighbourhood Development Plan. He added that whilst Highways had not identified issues with car parking, they had recommended refusal due to the accessibility of the site.

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Stephen Conway proposed that the application 211335 be deferred to enable a site visit. This was seconded by Wayne Smith.

RESOLVED: That application 211335 be deferred to enable a site visit.

Application Number	Expiry Date	Parish	Ward
222906	11/05/2023	Shinfield	Shinfield South

Applicant	Shinfield Studios Ltd
Site Address	Land south of Cutbush Lane Shinfield (West of Oldhouse Farm) and Gateway Plot 4 TVSP
Proposal	Full planning application for the proposed erection of a temporary Film Studio Backlot (for a period of 5 years).
Type	Full application
Officer	Benjamin Hindle
Reason for determination by committee	Major Application by virtue of site area (3.74HA)

FOR CONSIDERATION BY REPORT PREPARED BY	Planning Committee on Wednesday, 10 th May 2023 Assistant Director – Place and Growth
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RECOMMENDATION	<p>That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following three-tiered recommendation:</p> <p>A. Completion of a legal agreement (S106) to secure the following HoTs (Heads of Terms):</p> <p>Biodiversity Net-Gain 1 .20% Biodiversity Net Gain (above the Biodiversity Net Gain Target agreed at assessment) to be delivered on and off-site and retained in situ for a 30-year fixed period.</p> <p>Sustainability Uplift 2. 5% uplift in sustainability above existing provision through the addition of photovoltaics to the main Shinfield Studios site (as approved under application reference: 211841).</p> <p>Skylark Mitigation Measures 3. The approved Skylark Mitigation Strategy, Shinfield West: Skylark Mitigation, EPR Ltd, 16 December 2014 (linked to the O/2010/1432 development as varied by VAR/2014/0624) requires revision to demonstrate how adequate Skylark mitigation will continue to be delivered.</p> <p>B. Conditions and informatives as set out in Appendix 1 (subject to any additions and updates agreed with the Assistant Director – Place and Growth between the date of the resolution and the issue of the decision):</p>
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C. Alternative recommendation: That the committee authorise the Head of Development Management to refuse planning permission in the event of an S106 agreement not being completed to secure the bio-diversity net gain, off-site sustainable energy contributions and sufficient Skylark mitigation via the resubmission of the Shinfield West Skylark Mitigation strategy within six months of the date of the committee resolution (unless a longer period is agreed by the Head of Development Management in consultation with the Chairman of Planning Committee) for the following reason:

1) In the absence of a planning obligation to secure suitable contributions / on site and off works for the following:

- 20% on and off-site Biodiversity Net Gain**
- 5% off-site sustainability uplift above existing provision (25% total) to the main Shinfield Studios site via the provision of photovoltaic panels.**
- Adequate Skylark Mitigation measures linked to O/2010/1432 (as varied by VAR/2014/0624) which relies on the application site to provide sufficient mitigation.**

It has not been possible to secure the adequate mitigation put forward to justify the development and the proposal could have a detrimental impact on landscape, the countryside and ecology. This is contrary to the principles of policies CP1, CP3, CP11 and TB23.

SUMMARY

The application relates to land south of Cutbush Lane East and a wider area broadly to the south and east of this adjacent to the South of the M4 SDL as outlined in Core Strategy Policy CP19 and the Thames Valley Science Park as outlined in Core Strategy Policy CP16. In terms of the detail of the application, this seeks full planning approval for a 5-year temporary outdoor filming backlot and associated facilities on land south of Cutbush Lane East and west of Oldhouse Farm. The site broadly adjoins the wider Shinfield Studios development parcel approved by Members of The Planning Committee on 17/21/2021 under application reference: 211841, the proposal supports and contributes to the delivery of a world class filming institute in this location via the provision of additional outdoor filming space to meet growing demand. The relationship of the land within the application site and its adjoining land users are shown below within figure 1.



Figure 1: The application site's relationship with the wider area

The site would be used for a space that supports temporary outdoor filming for various film productions as such, the application formally consists of no fixed floor space and essentially is a land use. Each film production that would operate within the space will have differing requirements for sets and props given that each movie / tv production is in general unique in nature. As such, the sets and props together with the supporting workshops will not be fixed by this application although the site has been separated into 4 independent zones in which the built form varies in respect to agreed parameters for building heights. Area A proposes a maximum structure height of 8 metres on account of the listed buildings at Oldhouse Farm with a minimum c100m buffer, Area B proposes a maximum structure height of 15 metres (majority of the site), Area C proposes an ecological mitigation zone including additional planting and Area D proposes a dense landscape buffer as shown in Figure 2 below.

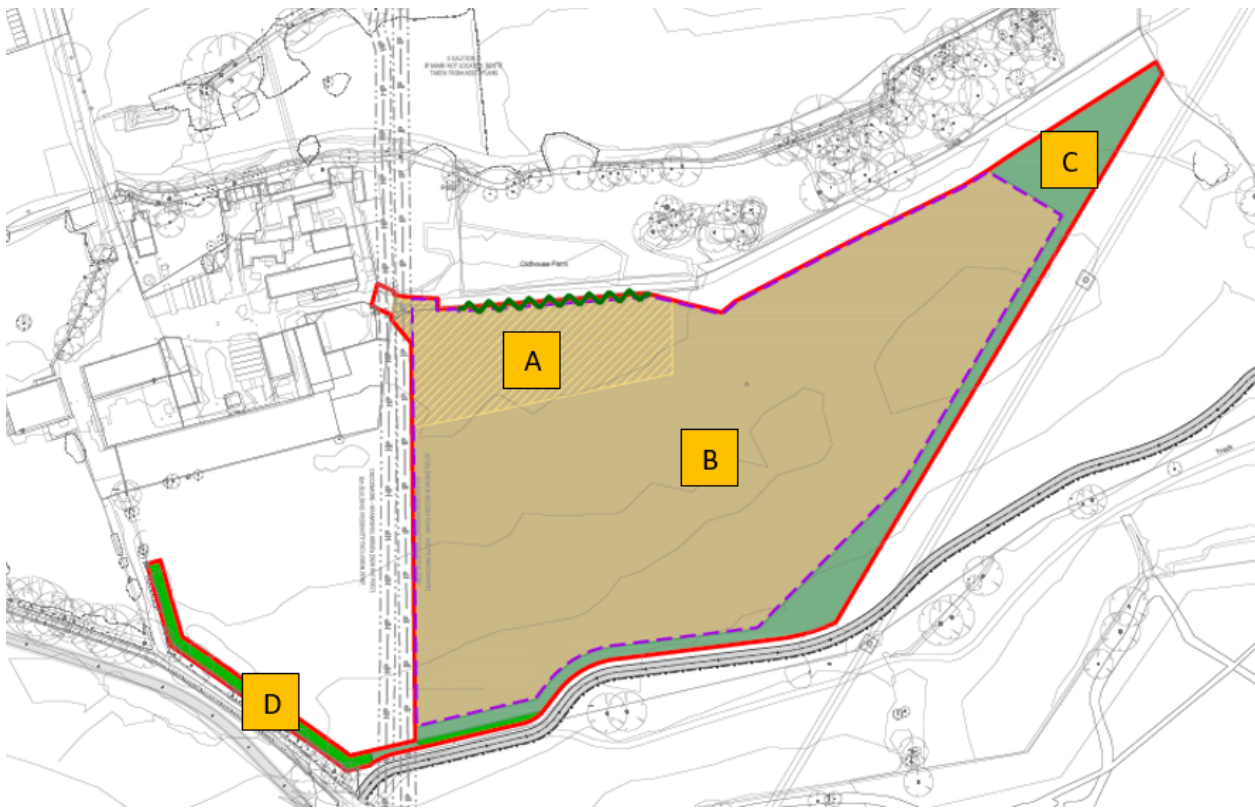


Figure 2: Application site building height and area key

Though no fixed built form is proposed due to the transient nature of the sets and ancillary production areas, the applicant has provided an indicative layout of the site to provide indication on what may feature of site at any time, though Members are advised that this will be constantly changing, over the 5-year temporary approval period for film uses only.

The temporary outdoor filming facility would be accessed via Cutbush Lane East and Oldhouse Farm Lane (accessible from the wider Eastern Relief Road) as well as the previously approved access adjacent to and via Oldhouse Farm which was approved under Prior Notification Class E submission 221645 in July 2022, this offers refuse, motorist, cyclist and pedestrian access into site from within the wider Shinfield Studios development parcel. The main infrastructure to facilitate the access to the temporary outdoor filming has already been delivered under permitted development and no further internal roads are required to serve the application site.

The Council has significant experience working with studio sites, which include Arborfield, Winnersh and Shinfield Studios. In addition, temporary consent was granted for part of the application site under the prior approval ref 221645 for the use of a backlot. The proposed use would be essentially the same as that proposed albeit on a larger area of land for a longer period of time. It is important to note that the site is located adjacent the existing studios however is within a reasonably isolated location and the form of use is one which does not cause significant noise or disturbance given from the separation to neighbouring dwellings and the careful site layouts. It is of note, that within the existing 7 month period of use,, that the site has operated under the Prior Notification consent, the backlot has received no direct complaints/queries both in terms of noise and disturbance or the impact

on the character of the area. As such, it is evident there are limited impacts from the operation.

The application is before the Planning Committee as it is a major development by virtue of site area that is recommended for approval. In policy terms, whilst in principle the facility is located within the countryside, therefore could be considered contrary to policy CP11 (development within the countryside), the application must be assessed on its merits regarding the circumstances put forward by the applicant together with the planning balance of material considerations, taking into account the temporary use of the site and off-site enhancements secured via S106. For the reasons set out in the report, it is considered that the benefits of this temporary facility and other material considerations outweigh the development plan conflict.

The delivery of the temporary outdoor backlot will contribute to the significant economic benefits that the Shinfield Studios offer and will provide a greater site area and variety for filming and set production which in turn aids job creation, economic generation locally. The proposals also include environmental benefits over the existing agricultural use. The combination of direct and indirect enhancements to the local and sub-regional area are considered to outweigh any harm from departing (in part) from the relevant policies and the proposal does not undermine the existing development plan or future update to this extent.

The development would not have a significant detrimental impact on the character of the area or the landscape setting and it includes significant landscape enhancements to screen the facility. The location of the site away from residential development, together with the level of use and activities within the facility together with such a degree of established use (211841) would not cause significant harm to existing residents. In addition, the proposal would secure biodiversity enhancements in the form of 20% off-site Bio-diversity net gain (in additional to the ecological buffer zone provided on site) and 5% carbon savings to the main Shinfield Studios site via the provision of photovoltaic panels. This would take the total provision of renewable energy to 25% for the studio facility These measures will be secured via S106 in tandem with the determination of the application and shall achieve above minimum policy requirements for sustainability and biodiversity. It is acceptable in terms of traffic, highway safety and flood risk.

The recommendation is that the application is approved subject to conditions outlined below and subject to the prior completion of the S106 agreement to secure on and off-site bio-diversity net gain, off-site sustainability enhancements through the provision of photovoltaic panels and Skylark mitigation connected with the VAR/2014/0624 outline approval (as varied) for the Shinfield West planning unit.

PLANNING HISTORY		
Application ref	Description	Outcome
Science and innovation park and ancillaries		
O/2009/1027	Outline application for phase 1 development of Science & Innovation Park (Access to be considered) plus full application for the construction of access road foot and cycle ways M4 overbridge and associated works including landscaping and engineering works plus erection of boundary wall and fence adjoining Shinfield Road/Access Road. Part demolition and	Approved 27/10/10

Application ref	Description	Outcome
	reformation of facade of Stable Buildings at Lane End Farm and demolition of existing farm buildings.	
RM/2015/0630	Reserved Matters application pursuant to Outline Planning Consent O/2009/1027 for the development of phase 1A of proposed Thames Valley Science Park comprising the construction of a gateway building and all associated landscaping and ancillary works plus temporary car parking arrangements – Appearance, Landscaping, Layout and Scale to be considered.	Approved 26/08/15
162841	Reserved Matters in relation to the development of Phase 1b of the proposed Thames Valley Science Park (TVSP) for a new cancer treatment centre, all associated landscaping, access and ancillary works	Approved 8/12/18
162818	Reserved Matters application for the car park for phase 1 of the Science Park	Approved 8/12/18
163609	Outline planning application for Phase 2 of the Thames Valley Science Park comprising up to 57,110 sqm research and development and innovation floor space (with occupancy restricted by a Gateway policy) inclusive of up to 5,711 sqm of amenity and supporting uses and an energy centre (all matters reserved except access to the site).	Approved 06/07/18
173287	Reserved Matters application pursuant to Outline Planning Consent O/2009/1027 (as extended under planning permission 152330) for the development of phase 1 of Thames Valley Science Park, comprising the construction of building 2 of the gateway building and all associated landscaping and ancillary works, plus temporary car parking arrangements - Appearance, Landscaping, Layout and Scale to be considered.	Approved 14/02/18
210387	Full application for the erection of Film studio stages and workshops (for a temporary period of 5 years). To include access to the site via Old House Lane / Cutbush Lane, car parking, ancillary buildings to support the use of the site and landscaping, with a workshop to be included on Gateway 4 plot at Thames Valley Science Park.	Approved 25/03/21
210210	Full application for the erection of TV Studio Building including studio space, workshop/storage area and production/office along with parking facilities.	Approved 14/07/2021

Application ref	Description	Outcome
211841	Full planning permission for the Science Park Creative Media Hub comprising the erection of film stages and associated workshops and office space; and ancillary uses including equipment stores, café. Formation of associated access, decked and surface parking, and landscaping at the Thames Valley Science Park (TVSP).	Approved 13/12/2021
221645	Prior approval submission for use of a backlot for external filming including temporary film sets (PN Class E) Oct 2022 until April 2023	Approved 12/07/2022
222223	Prior approval submission for the proposed formation of an agricultural farm track.	Approved 12/08/2022
Eastern Relief Road		
F/2010/1428	Full application for the construction of an Eastern Relief Road (ERR) to Shinfield including the construction of road foot and cycleways an M4 over-bridge. Re-grading of embankments landscaping utilities creation of flood compensation areas and associated works including engineering and other operations. Erection of replacement boundary wall and fence adjoining Shinfield Road/ ERR part demolition of existing farm buildings at Lane End Farm and demolition/deconstruction of two poly tunnels south of Cutbush Lane. – Delivered and open	Appeal approved 03/06/11
British Museum		
182059	Hybrid planning application in respect to: 1) Full planning application for a 15,628sqm research and storage facility (Sui Generis Use for the British Museum); 80parking spaces; landscaping and surface water drainage. 2) Outline planning application for up to 15,000sqm research and storage facility (Sui Generis Use for the British Museum) all matters reserved. 3) Demolition of two existing residential dwellings.	Approved 14/02/19

DEVELOPMENT INFORMATION	
Previous land use(s)	Mixed, agriculture and previously developed land for the element of the proposal relating to the temporary studios site. Part of the site (c50%) has extant prior approval permission for an outdoor filming backlot.
Proposed parking space(s)	Parking spaces of the approved main Studio development – The approved details state the provision of: 1375 spaces including 79 blue badge spaces, 77 active and 77 passive EVC spaces, 64 motorcycle spaces

and 160 cycle spaces which are sufficient to cater for this development.

CONSTRAINTS

Adjacent to Strategic Development Location (SDL) as identified on the Core Strategy (South of the M4 Strategic Development Location SPD)

Countryside Development Location – Shinfield, as identified in Core Strategy Policy CP11.

Accessed via the Thames Valley Science Park

Mineral consultation zone

Potentially contaminated land consultation zone

Area of archaeological potential

Listed buildings located to the south 180m Oldhouse Farm and Cutbush Manor and Barn Grade 2 located 55m to the common boundary of Office A.

CONSULTATION RESPONSES

Royal Berkshire Fire and Rescue	No comments received
Southern Gas Networks	No comments received
SEE Power Distribution	No comments received
WBC Ecology	No objection subject to conditions and planning obligations
WBC Drainage	No objection subject to condition
WBC Environmental Health	No objection subject to condition
WBC Highways	No objection subject to condition
WBC Tree & Landscape	No objection subject to conditions
WBC Conservation	No objection
WBC Cleaner & Greener (Waste Services)	No comments received
WBC Public Rights of Way	No objection
Berkshire Archaeology	No objection subject to conditions
Environment Agency	No comments received
Natural England	No comments received
SDL Growth and Delivery	No objection

REPRESENTATIONS

Town/Parish Council: No comments received by Shinfield Parish Council

Local Members: No comments received from any Local Members

Neighbours: No comments received from any neighbours

PLANNING POLICY

National Planning Policy Framework

National Design Guide

National Planning Practice Guidance

Core Strategy (CS)

CP1 – Sustainable Development

CP2 – Inclusive Communities

CP3 – General Principles for Development

CP4 – Infrastructure Requirements

CP5 – Housing Mix, Density and Affordability

CP6 – Managing Travel Demand

CP7 – Biodiversity

CP8 – Thames Basin Heaths Special Protection Area

CP9 – Scale and Location of Development Proposals

CP11 – Proposals Outside Development Limits (Inc Countryside)

CP15 – Employment Development

CP16 – Science Park

MDD Local Plan (MDD)

CC01 – Presumption in Favour of Sustainable Development

CC02 – Development Limits

CC03 – Green Infrastructure, Trees and Landscaping

CC04 – Sustainable Design and Construction

CC05 – Renewable Energy and Decentralised Energy Networks

CC06 – Noise

CC07 – Parking

CC09 – Development and Flood Risk

CC10 – Sustainable Drainage

TB13 – Science and Innovation Park

TB20 – Service Arrangements and Deliveries for Employment and Retail Use

TB21 – Landscape Character

TB22 – Sites of Urban Landscape Value

TB23 – Biodiversity and Development

TB24 – Designated Heritage Assets

TB25 – Archaeology

Shinfield Parish Neighbourhood Plan

Policy 1 - Location of Development

Policy 2 - General Design Principles

Policy 3 - Sustainable Development

Policy 4 - Accessibility and Highway Safety

Policy 5 - Parking

Policy 6 - Trees, Hedgerows and Woodlands

Policy 7 - Biodiversity
Policy 8 - Flooding
Policy 9 - Community Assets
Policy 10 - Community and Sports Facilities
Policy 11 - Commercial Development
Policy 12 - Broadband Provision

Replacement Minerals Local Plan for Berkshire

Policy 1 - Husbanding resources
Policy 2 - Sterilisation and prevention of adjacent working of deposits
Policy 2a - Prior extraction

Central and Eastern Berkshire Joint Minerals and Waste Plan 2021 (submission)

Policy M2 - Safeguarding sand and gravel resources

Other

Borough Design Guide Supplementary Planning Document
Sustainable Design and Construction Supplementary Planning Document
South of M4 SDL SPD

PLANNING ISSUES

Site and Proposal description:

1. The application site is located south-east of Cutbush Lane East and west of Oldhouse Farm in the quasi-rural, countryside location of Shinfield as defined by Core Strategy Policy CP11. The site is further situated adjacent to the South of the M4 Strategic Development Location as outlined within Core Strategy Policy CP19. The site is located within the Loddon Valley Area of Valued Landscape, featuring adjoining verdant landscape, however the site itself consists of moderate quality agricultural land (non-grazing) and grassland which is of moderate to low ecological value. The site is reasonably close to footpaths 3 and 4 although views towards the site are well filtered by established vegetation which will be enhanced via condition 11 to mitigate against any potential significant impacts to the setting and character of Shinfield footpath 3 and 4.
2. The application proposes a temporary backlot on existing agricultural land to serve as an outdoor filming area to cater for the growing demand of the existing Shinfield Studios. The application site comprises of 3.74 HA of agricultural land and would include transient set production and erection for filming purposes. The site would be used for a space that supports outdoor filming for various film productions as such, the application formally consists of no fixed floor space and essentially is a land use. Each film production that would operate within the space will have differing requirements for sets and props given that each movie / tv

production is in general unique in nature. The sets would be constructed on site and on the neighbouring studio site. As such, the sets and props together with the supporting workshops will not be fixed by this application although the site has been separated into three independent zones in which the built form varies in respect to agreed parameters for building heights. The structure heights have been limited on site through a zoning plan (subject to condition 2) and condition 5 to a maximum of 15 metres, and 8 metres where they are within c100 metres (minimum) of any sensitive receptors (Oldhouse Farmhouse and Barn, Grade II listed buildings) to ensure the development has no significant impact on adjoining occupiers.

Description of development:

3. The proposal relates to the temporary development of a film studio backlot of 3.74ha for a 5 year period. The backlot would be formed by the construction of a geosynthetic sub-base topped with crushed aggregate following topsoil removal. This will then be used to facilitate the erection of temporary buildings and film sets for the purpose of outdoor filming. It is proposed that the height of any erected structures will be limited to 15m with a restriction of 8m in proximity to the Oldhouse Farm Listed Buildings which echoes the requirements under Prior Notification (PN) Class E of the General Permitted Development Order. Condition 5 (structure heights) has been appended to the permission to ensure no structures are greater than 15m in height or 8m where it nears Oldhouse Farmhouse Grade II Listed Building in accordance with the zoning plan.
4. The proposed development would be linked to the existing Shinfield Studios located roughly 300m to the north-west of the application site. Shinfield Studios comprises existing film stages and workshops initially granted 5 year temporary permission through application 210387 and which now benefits from permanent permission as part of the more comprehensive development approved through application 211841.
5. Part of the application site already benefits from PN Class E prior approval (application reference 221645) for external filming including erection of temporary film sets. This prior approval is for the period October 2022 until April 2023. The current proposals, in effect, would be to extend this prior approval over a wider site area and for a longer period of time (limited to 5 years via condition 4) to provide certainty on the timescale of development, echoing the principles of the extant prior approval.

Background to need for facility / Economic benefits:

6. The applicant / directors for Shinfield Studios have previous experience in delivering successful studio spaces within the Borough. The site selection for the current application much alike the main Studio development has been driven in part due to its location in terms of ease of access to London and Heathrow, links to other regional studio hubs in the south-east such as Winnersh, Shepperton and Pinewood Studios as well as feature adjoining the existing Shinfield Studios which ensures easy transition from workshop/ sound stage to backlot via sustainable modes of transport. The benefits associated with the delivery of such a facility in

Shinfield would act to further contribute to cluster studio space within the region. In addition, the studios will foster collaboration with the Wokingham Borough Council, the University of Reading who have an established Department of Film, Theatre & Television and help create additional employment and skills opportunities locally.

7. In terms of the economic benefits of the proposed temporary backlot, the filming industry has been and continues to be a major contributor to the UK economy and has grown rapidly in recent years with the same projection of growth within the Wokingham Borough. This reflects global growth in the sector due in part to new digital platforms which have generated significant changes in how we watch television together with a more advanced gaming sector. These together with other innovations such as virtual reality and 5D has bolstered consumer demand and thereby demand for suitable studio space to support the production of media products.
8. As the UK is at the forefront of the film industry, the growth in the media sector has however outpaced provision of studio and filming space available. In 2018 analysis published by Price Waterhouse Coopers and Lambert Smith Hampton, showed that there will be the requirement of between around 140,000m² and 175,000m² of dedicated stage space by 2025. To support the filming activities, the proposed studio backlot and ancillary structures are required, hence this submission of a full temporary application in order to provide certainty. It can be demonstrated that there is significant pent-up demand for studio space within the UK. There is high demand for sites that are within easy reach of London together with the other film studios located in the south-east. The opportunity presented by the scale of the proposed backlot filming space, will contribute to the delivery of the current shortage of this form of facility in the UK.
9. The NPPF also support clustering of industries and the application should be read in the context of the permitted and largely construction permanent Shinfield Studio as well as the British Museum Archive and Thames Valley Science Park creative media hub. The scale of the development will allow for significant collaboration across the creative media hub.

Principle of development within the countryside:

10. The application site was not identified for development by the existing Spatial Framework Plan. This lies just outside of the South of the M4 SDL boundary although is located immediately adjacent to Science Park site and approved permanent studios allocated for employment/commercial. The application site itself, however, does fall within the site proposed for allocation via the Local Plan update. The proposed uses are, Housing (C3 Planning Use Class). Offices (B1a Planning Use Class). Non-residential institutions (D1 Planning Use Class). Assembly and Leisure (D2 Planning Use Class).
11. The general thrust of the policies and supplementary planning guidance is that development within these parcels of land is not normally permitted unless the criteria within policy CP11 are met. The proposal does not fall specifically into these categories and therefore is in principle not strictly in accordance with planning policy. As such, an assessment needs to be made as to whether special circumstances apply to the scheme.

12. Whilst Core Strategy policy CP11 has a presumption against development in the countryside, which is echoed by CC02 of the MDD, these policies should not be read in isolation. Regard should also be made in respect to the objectives of the policies which are to maintain the separate identity of settlements through preventing urban sprawl and to protect the countryside. The proposal therefore needs to be considered on its merits and within the context of the development plan as a whole.
13. The principle objective of Core Strategy Policy CP11 is to protect the separate identity of settlements and maintain the quality of the environment. The site is relatively well contained from other settlements by the Film Studio / Science Park and British Museum developments to the north and west and tree coverage and flood plain to the south and east. Existing and proposed landscaping further limits this impact and better integrates the application site to its surroundings. Therefore, whilst the development is not specifically supported by CP11, the proposals need not necessarily contravene the aim of protecting the separate identity of settlements or quality of the environment.
14. It should also be kept in mind that the principle of development associated with film production in this countryside location has been generally established by permissions close by and nationally. The current proposals are also for a temporary period of 5 years, during which time film sets and structures will come and go as they are required by virtue of the proposal's transient nature as required by the film industry. This would limit the extent of any impacts on character on both a temporary basis and in perpetuity. Condition 6 (as agreed by the applicant) secures the remediation of the land forming the application site, to ensure it is left in the same condition it was prior to occupation which further limits in any impacts to the settlement gap in perpetuity. The site is however currently well screened from the main footpaths surrounding the site by vegetation from Footpath 4 and the cluster of buildings at Oldhouse Farm which buffer views from Footpath 3. Landscaping is proposed to strengthen screening along the main view receptors for Footpath 4.
15. Policy 1 of Shinfield Neighbourhood Plan (which has been adopted since the Core Strategy and MDD) supports development within settlement limits and adjacent to these where the benefits of the development outweigh its adverse impacts. As part of this application the Parish have been consulted and no comments were received in objection by the LPA. The Shinfield Neighbourhood Plan was adopted after the MDD and Core Strategy was adopted and essentially can be seen as the most up to date planning policy for the area. For the land to the east outside the application site, this is directly adjacent to the development limits.
16. The application should also be read in conjunction with national planning policy. Section 2 of the NPPF outlines three interdependent objectives regarding sustainable development and promotes a presumption in favour of sustainable development. The objectives set out in paragraph 8 are:
 - a. *an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and*

improved productivity; and by identifying and coordinating the provision of infrastructure.

- b. a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and*
- c. an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.*

These principles are broadly echoed by policy CP1 of the Core Strategy.

17. The NPPF puts a high emphasis on the weight that should be applied to support business need together with the wider opportunities for development and innovation. Footnote 42 of the recently updated NPPF (2021) refers to the Industrial Strategy: Building a Britain fit for the future White Paper (2017), and this identifies the Creative Industries (which includes film, video games and TV) as a sector that the Government are keen to develop given the significant GVA contribution that it makes. Whilst the White Paper is not adopted planning policy, it does set out the governments agenda for growth and the footnote in the NPPF provides a direct link to this.
18. The NPPG Housing and economic needs assessment also places a high emphasis on policy support for different forms of employment use. This recommends clustering certain industries which include digital and creative industries to support collaboration, innovation, productivity and sustainability. It also recommends that there may be the need for: *policy-making authorities will need to develop a clear understanding of such needs and how they might be addressed taking account of relevant evidence and policy within Local Industrial Strategies. For example, this might include the need for greater studio capacity, co-working spaces or research facilities.*
19. In addition to the above, Wokingham Borough Council's Community Vision for the Borough is to be '*A great place to live, learn, work and grow and a great place to do business*' and is underpinned by the Vision for Wokingham Borough as set out in the Core strategy. This therefore places a high emphasis on delivering employment within the Borough as well as strengthening existing opportunities to which the temporary proposal contributes to.
20. Whilst the proposal does not strictly accord with the countryside aspects of the development plan, regard needs to be made to the development plan as a whole, together with the NPPF and NPPG. A judgement therefore needs to be made as to whether material considerations which support the proposals are sufficient to outweigh development plan conflict. In regard to this and adopted policies, further analysis is outlined below in discussion of the enhancements the proposal provides for the site and wider area via biodiversity net gain and carbon savings

as secured by S106. The delivery of this supporting development to the main studios is considered to bring significant economic and skill benefits to the local area.

Layout, Design and Landscaping:

21. Core Strategy Policies CP1, *Sustainable Development* and CP3, *General Principles for Development* requires high quality design that respects its context. This requirement is amplified by MDD LP Policies CC03, *Green Infrastructure, Trees and Landscaping* and TB21, *Landscape Character* and South of the M4 SPD which requires development proposals to protect and enhance the Borough's Green Infrastructure, retaining existing trees, hedges and other landscape features and incorporating high quality - ideally native – planting as an integral part of any scheme, within the context of the Council's Landscape Character Assessment.
22. Policy 2 of Shinfield Parish Plan sets out general design principles and requires that development is complementary to the built environment surrounding the development site and layouts should acknowledge existing landscape constraints. Policy 6 is concerned with Trees, Hedgerows and Woodland in new development and sets out a landscape led design approach with retention and appropriate buffers to existing important vegetation.
23. The adopted SPG, Wokingham Borough Design Guide sets out overarching principles for development and sets out guidance in section 7 regarding non-residential development.
24. A perimeter fence and 5m wide landscaping (ecological mitigation 'belt') would ensure that the backlot facility would be secure and only obliquely visible from the adjoining Footpath 4. As the site is located within the River Loddon Valued Landscape as discussed in a Topic Paper produced to support the emerging Local Plan, the landscaping scheme proposed must address the site-specific circumstances and respond positively to this existing surrounding character.
25. In terms of parking, the outdoor backlot will be served by the existing Studio parking provision located to the north of the application site. Trip generation and parking impacts resulting from the proposal would be minimal as the applicant has proposed to use sustainable on-site transport in the form of minibuses to transfer actors/ workers from site which is welcome. This is discussed further in paragraph 40-44 below.
26. The scheme does not include the removal of any significant trees or hedgerows. Moreover, additional landscaping is proposed on the perimeter of the site and within the facilities. A good landscaping buffer is provided adjoining Shinfield Footpath 4. The landscaping and impact of the facility on the wider countryside setting is discussed in further detail in paragraphs 29-32 below.

Design and appearance:

27. The proposed temporary backlot would involve the transient erection of various set/production buildings, some of which being required for a single scene which means rapid construction and de-construction and no formally fixed site layout over the temporary period.
28. The height of these ranges from 8m to 15m in height, which has been appended as condition 2 and 5 to the approval within the areas defined by the zoning plan. This variation in structure height takes the location of the adjoining Grade II Listed Buildings, the Oldhouse Farm Farmhouse and Oldhouse Farm Barn. The structures themselves will be constructed from a variety of materials which is dependent on the needs of the client and the filming requirements.
29. Temporary security fencing is proposed to run around the perimeter of the site, and other than the location provided via the submitted boundary plan, no details have been provided of this. To ensure adequate and well-designed boundary treatments are proposed, condition 17 has been appended in which details of boundary treatment are to be submitted and approved following the consideration of the Local Planning Authority prior to the hereby approved use commencing.

Landscaping:

30. Due to the topography of the site and intended use, the temporary backlot would be formed by the construction of a geosynthetic sub-base topped with crushed aggregate following topsoil removal. This is to provide similar levels across site and is necessary for the operation of the site as equipment and sets moves across the site from the workshops and studios to the proposed temporary backlot.
31. Heavy soft landscape buffering and tree planting is also proposed within the site, in the highest density in 'Area C' and 'Area D' (as mentioned above) and shown in figure 1 to screen views of site operations from Shin FP4 and to provide on-site landscaping and ecological enhancements which respects the aims of Policy 6 of the Shinfield Neighbourhood plan. This buffering and landscape enhancement is secured by condition 11, appended to the decision.
32. An Arboricultural Method Statement accompanies the application which indicates that the all the existing trees surrounding the site will not be impacted and protection provided during the groundworks and erection of security fencing, which has been added as a condition 10 to the approval.
33. In summary, the layout and temporary design approach is well articulated and functional for the proposed use and is in accordance advice provided by the NPPF, policies CP1 and CP3, Policy 2 and 6 of the Shinfield Parish Neighbourhood Plan together with the Supplementary Planning Guidance and is therefore acceptable. The proposal will in fact provide additional benefits in terms of landscaping to the local area.

Residential amenity: the impact upon existing neighbouring properties:

34. Core Strategy policy CP3 requires that new development should be of a high quality of design that does not cause detriment to the amenities of adjoining land users. Policy 2 of the Shinfield Parish Plan seeks to ensure that new development does not harm existing residential amenity.
35. Policy CC06 (Noise) states noise impacts of the development must be assessed. Where there is no adverse impact (No Observed Effect Level) then noise will not be a material consideration. The development is shown to have a minor impact on nearby sensitive receptors with a +3dB change in background noise levels where activity occurs at night in the Western part of the site (which is nearest residential receptors) however, this has been predicted to be within noise tolerances (below the lowest observed adverse effect level) and therefore is acceptable when considering CC06 following consultation with Environmental Health. Given the levels of background noise (M4 and Eastern Relief Road) and as the application site is located c400metres from the nearest residential dwelling as occupied, and therefore, the degree of separation is one that would mitigate noise or lighting impacts potentially arising from the development from this dwelling together with the others located on Cutbush East. Notwithstanding the above, to prevent any significant noise impacts from arising, condition 13 has been appended to the permission to ensure all equipment enclosed and/or attenuated that noise therefrom does not exceed at any time a level of 5dB[A]. Reduction of noise levels on sensitive receptors can be accommodated during filming through the orientation of sets or other forms of screening.
36. The application site further is self-serving and utilises the existing Studios parking provision and access which will not be at the detriment of surrounding occupiers. The temporary backlot itself will be accessed via minibuses and the increase in trip generation is not one considered to have any significant impact on congestion which may impact adjoining occupiers. The principal access to the Studio site is via the Science Park and works to restrict vehicular movement from the Eastern Relief Road Via Cutbush Lane East directly have been completed.
37. There are no overlooking, overbearing or overshadowing issues regardless of structure height by virtue of the large separation distances as mentioned above.
38. With the above factors considered, and due to the fact that during the existing period of use for the temporary backlot as approved under PN Class E application 221665 no complaints have been received by the LPA with respect to the operation of the facility, the proposal is considered to be acceptable on neighbouring amenity grounds.

Sustainable Design and Construction:

39. Core Strategy Policy CP1 requires development to contribute towards the goal of achieving zero carbon development by including on-site renewable energy features and minimising energy and water consumption. MDD LP policies CC04, CC05 and the Sustainable Design and Construction Supplementary Planning Document (May 2010) also emphasise this. Policy 3 of the Shinfield Parish Neighbourhood Plan also echoes these principles. Zero carbon contributions

weigh heavily in the planning balance, which is crucial to be considered for this submission due to the minor policy conflict in part.

40. Due to the temporary proposal's nature as one that includes no fixed site layout, the ability to provide on-site renewables is limited, however in order to weigh the planning balance in favour of the application, this is effectively mitigated by a 5% off-site sustainability increase to the main Shinfield Studios site above existing provision, which is a significant increase considering the scale and energy consumption of the main Shinfield Studios site when compared to the application site. This is to be secured via S106 and will be delivered by an overprovision of photovoltaic panels to the main Shinfield Studio site's sound stages/ workshops and offices. The 5% uplift will be in addition to the 20% secured to the main studio site thereby delivering on quarter of energy demand through renewables.

Access and movement:

41. The NPPF seeks to encourage sustainable means of transport and a move away from the reliance of the private motor car. Core Strategy policies CP1, CP4, CP6 and CP10 broadly echo these principles and indicate that development should mitigate any adverse effects on the existing highway network. The applications are accompanied by a Transport Assessment (TA) which assesses the impact of development in respect to the site itself and wider highway network including the South of the M4 SDL.
42. Policy 4 of the Shinfield Parish Neighbourhood Plan requires development to provide good accessibility by car, cycle and foot and ensure highway safety. Encouragement of use of public transport is also promoted. Policy 5 of the Shinfield Parish Neighbourhood Plan sets out parking standards. These should be in line with WBC standards and well set out with good surveillance to parking courts.
43. This application has been supported by a transport statement which is welcome. Following consultation, WBC Highways are content that any traffic generated by this temporary application would not have an adverse impact on the highway network and would be part of the traffic generated by the entire site.
44. To effectively mitigate any neighbouring amenity concerns arising from construction, any construction and remediation would need to follow the principles of the approved Construction Environmental Management Plan (CEMP) (Abbey Letchford partnership Ltd, Reference A282-R015/F dated 23/01/2023) submitted alongside this application. Condition 9 has been recommended to secure compliance with this document.
45. The route from the studio to the backlot would be via the Science Park / Cutbush Lane East and then Oldhouse Lane. There are no alternative routes as direct access from the ERR via Cutbush Lane East has now been restricted. It has been stated that minibuses (a mode of sustainable transport) will transfer staff and actors from the parking from the main studio sites to the backlot which is acceptable.

Flooding and Drainage:

46. Core Strategy Policy CP1 and MDDL Policies CC09 and CC10 establish that new development should avoid increasing and where possible reduce flood risk (from all sources) by first developing in areas with lowest flood risk, carrying out a Flood Risk Assessment (FRA) where required and managing surface water in a sustainable manner. Policy 8 of the Shinfield Parish Neighbourhood Plan echoes these principles and looks to retain existing watercourses in new development.
47. Paragraph 5.0 of the submitted Flood Risk Assessment states that *“The underlying soils are mainly clay and thus have a poor infiltration capacity in their natural state.”* In response to this, the Temporary Backlot proposals involve removing a layer of topsoil and replacing with a layer of geo-synthetic gravel (Type 3 material or similar). Given that this operation will not significantly increase ground levels, there is no loss of flood storage currently provided onsite.
48. There is no flood compensation requirement due to impacts on Flood Zone 2 or 3. The constructed Backlot granular surface would be considered as being of similar porosity as the removed existing soils, therefore there is no need to provide surface water mitigation to attenuate any increased surface water runoff from the proposals. With the submission, the applicant provided drawing no. ALP Backlot Location Plan drawing A282-092, ALP Backlot Boundary Plan drawing A282-086, Barton Willmore/Stantec Site Plan 30845 RG-LP-04. According to paragraph 4.22 The proposed development is situated predominantly within Flood Zone 2. A small proportion (1.7%) lies within Flood Zone 3. The main encroachment into Flood Zone 3 relates to areas set aside for proposed landscaping.
49. By reason of the site’s location within Flood Zone 2 and 3, the Environment Agency are the governing board which consider potential fluvial and flooding based impacts arising from development. Following consultation, the Environment Agency raised an initial objection following consideration of the original Flood Risk Assessment and alleged impacts to Flood Zone 3. To address this, the applicant submitted additional information in the form of 2no. Technical Notes providing addendum to the original FRA detailing the extent of the 1 in 100-year flood outline with additions of 14% and 23% for climate change. In line with this additional information, the Environment Agency withdrew their objection subject to the inclusion of condition 14 (as appended to the report within Appendix 1).
50. Compliance based condition 14 secures no built development or changes to ground levels within the 5% annual exceedance probability flood extent as detailed in Figure 2 and section 1.5 of the Technical Note Addendum are to feature on the application site, and that there is to be no built development or changes to ground levels within the 1% annual exceedance probability flood extent plus 23% Climate Change Allowance as detailed in Figure 4 of the Technical Note Addendum.
51. It is further of note that the application site does not fall within 20 metres of a main watercourse, is not classed as vulnerable development and any development within Flood Zone does not contain any built form (landscape buffer only). With the above in mind, and considering the support of the Environment Agency, the proposal would have no significant impact on any watercourses, nor flood zone 3. As such there is no objection to the proposals.

Ecology:

52. Core Strategy Policy CP7, carried forward by MDD LP Policy TB23, requires appropriate protection of species and habitats of conservation value. Policy 7 of the Shinfield Parish Neighbourhood Plan seeks mitigation and measures to enhance biodiversity. Design Principle 1b of the South of the M4 SPD (i-ii) is concerned with protection of ecological habitat and biodiversity features, together with mitigation of any impacts that do arise. A detailed Ecological Impact Assessment and addendum to this has been submitted and demonstrates that the site layout has considered impacts on ecological permeability.
53. In terms of existing vegetation, the applicant has demonstrated that there would be an adequate buffer zone from the proposed development to these features.
54. The field that this application site sits within is one of several that are relied on to fulfil a commitment to which the University of Reading has agreed to provide Skylark mitigation for the Shinfield West (O/2010/1432) development. The proposed development will make this field unsuitable for Skylark. The submitted and approved mitigation strategy – Shinfield West: Skylark Mitigation, EPR Ltd, 16 December 2014 – will need to be revised to show how adequate Skylark mitigation will continue to be delivered. To secure the protection and enhancement of habitats for Skylarks, a planning obligation is applied via S106 to resolve the submission, agreement and implementation of a revised strategy.
55. There are a package of ecological mitigation measures including on and off-site enhancements and the Ecology Officer supports the approach as proposed subject to conditions and planning obligations as outlined in S106. The delivery of the enhancements will be controlled via S106, and this will ultimately deliver a biodiversity net gain of 20% (above the agreed Biodiversity net gain target agreed on assessment) which weighs heavily in the planning balance as though it is encouraged, WBC currently have no mandatory policy requirement to provide any fixed level of biodiversity net gain. In line with the Defra consultation of the amended Environment Act 2021 (yet to be published), it was stated that developments should look to provide 10% biodiversity net gain on, or off-site. Notwithstanding the fact that it is not yet a policy requirement to provide any fixed level of Biodiversity Net Gain, the applicant following negotiation with Officers has provided twice the expected Biodiversity Net Gain via on and off-site enhancements and mitigation measures as well as sufficient mitigation measures of Skylark protection. This would enhance the wider area and have a larger impact on the Loddon Valley Valued Landscape and the species within it for a 30-year period, which would outlive the permission by a significant 25 years.

Heritage:

56. Policy TB24 of MDD Local Plan policy seeks to ensure that development conserves and, where possible enhances the important character and special architectural or historic interest of listed buildings. The nearest listed buildings to the development site are within Oldhouse Farm, including the Oldhouse Farmhouse and Oldhouse Farm Barn. The curtilage of these buildings is located

over c67m from the nearest aspect of the development (access) and therefore the proposal would have a minimal impact on their character and amenities.

57. The Heritage Officer has assessed the application and concurs with the submitted Heritage Statement that the overall harm to all aspects would be less than substantial. For the reasons set out in the planning balance section of the report, any harm is considered to be outweighed by the benefits that the proposal would deliver. It is therefore in accordance with the heritage considerations of the NPPF including paragraph 202 and Managing Development Delivery Document (Local Plan) 2014 Policy TB24 Designated Heritage Assets.

Archaeology:

58. Core Strategy Policy CP3 and MDD LP Policy TB25 require the archaeological impact of development to be taken into consideration. The application includes an archaeological assessment which has been reviewed by the Archaeology Officer.
59. The site is one with some archaeological potential, lying on the edge of the Loddon valley, and with archaeological features and finds having been made in surrounding fields. The proposed works will involve minimal below ground impacts: the Planning Statement describes the removal of topsoil and creation of a sub-base – this may impact previously undiscovered buried archaeological remains.
60. Subject to the inclusion of condition 15 to secure an archaeological programme of works and written scheme of investigation the Archaeology Officer did not object to the application.

Public Rights of Way:

61. The proposal runs adjacent to Shinfield Footpath 4 and would be sufficiently screened by a mixture of circa 5 metre wide green, landscaped buffering. Though the proposal would change the outlook from Footpath 4 which currently provides filtered views onto the existing backlot site, the application site is in existing use as a temporary backlot (by virtue of approved prior approval) and therefore, the proposed screening is considered to enhance the footpath, creating a more attractive route with no diversion proposed.
62. Due to the temporary nature of the backlot recommended for approval, any impacts on the views to users utilising Footpath 4 is limited by the existing relationship and will be further enhanced by the strengthening of the landscape buffer. It is therefore not considered to significantly impact any Public Rights of Way to the extent that an alternative recommendation is made.

Minerals:

63. The application site is an area of potential sand and gravel reserves. The Central and Eastern Berkshire Joint Minerals and Waste Plan (Joint Plan) has been recently adopted, having been subject to examination and main modifications consultation.
64. The Joint Plan identifies site allocations and extensions to provide a future supply of sand and gravel extraction. However, despite these allocations, there remains a shortfall of supply during the plan period. The policy response to address the shortfall is the identification of a 'Minerals Safeguarding area' (MSA), where Policy M2 of the plan applies, and also an 'Area of Search' where policy M4 applies. This approach is to demonstrate the potential for, in effect, windfall provision within the Plan area.
65. Policy M2, as proposed to be modified, states: *"1. Sharp sand and gravel and soft sand resources of economic importance, and around active mineral workings, are safeguarded against unnecessary sterilisation by non-minerals development. 2. Safeguarded mineral resources are defined by the Minerals and Waste Safeguarding Area illustrated on the Policies Map. 3. Non-minerals development in the Minerals and Waste Safeguarding Area may be permitted if it can be demonstrated through the preparation of a Mineral Resources Assessment, that the option of prior extraction has been fully considered as part of an application, and: a. Prior extraction, where practical and environmentally feasible, is maximised, taking into account site constraints and phasing of development; or b. It can be demonstrated that the mineral resources will not be permanently sterilised; or c. It would be inappropriate to extract mineral resources in that location, with regard to other policies in the wider Local Plans."*
66. Policy M4(3) provides qualified support for extraction of sand and gravel in the Area of Search. Policy M4(3), as proposed to be modified, states: *"3. Proposals for new sites not outlined in Policy M4 (1 and 2) will be supported, in appropriate locations which comply with all relevant policies in the Plan, where: a. They are situated within the Area of Search (as shown on the Policies Map); and b. They are needed to maintain the landbank; and/or c. Maximise opportunities of existing infrastructure and available resources; or d. At least one of the following applies: i. The site contains soft sand; ii. The resources would otherwise be sterilised; or iii. The proposal is for a specific local requirement."*
67. The 'Sand and Gravel Safeguarded Resource' (effectively the MSA) and 'Area of Search for Sand and Gravel' are shown on the emerging policies map. The map below (Figure 3) details the MSA:

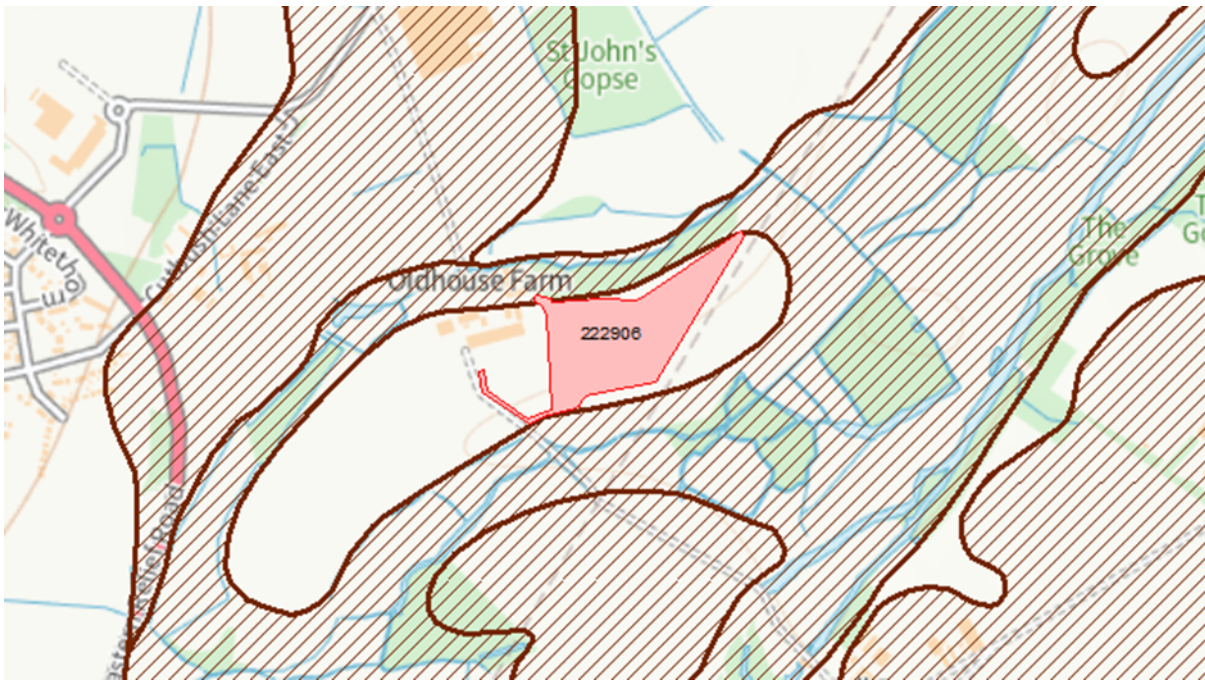


Figure 3 – Minerals Safeguarding Area

68. Whilst the majority of the application site lies outside of the MSA, it should be noted that this is based on high level British Geological Society data. Given the identification of resource in the vicinity, it is likely the application site itself also contains sand and gravel resource. Policies M2 and M4 ensure that sand and gravel resources are safeguarded against unnecessary sterilisation. There is a clear policy presumption, therefore, that non-minerals development which sterilises future extraction should not occur in this location unless there is sufficient and robust justification.

69. The application seeks a change of use for a temporary 5-year period. On that basis, even if sand and gravel deposits are present that are viable for prior extraction (given the site area and extent of these it is unlikely), it would not lead to the permanent sterilisation of resource as the site would subsequently be returned to agricultural use. Additionally, while the proposals would involve a degree of excavation for the laying of a gravel base, this would amount to topsoil removal only which would not allow for any incidental sand and gravel extraction to occur as part of the development. In any case it is considered that given the scale of the proposal would not mean that extraction from the site would be viable whether it was temporary or permanent. The emerging Joint Minerals and Waste Plan also identifies a minimum plot size of 3Ha where prior extraction is considered to be economical, and it is noted that the size is only slightly larger than this threshold. In this instance, the proposal is not considered to be contrary to emerging minerals policy or the requirements of the NPPF paragraph 210.

Planning Balance:

70. In terms of the planning balance, the decision maker needs to take in to account the extent that development plan policies are material to an application for planning permission and the decision must be taken in accordance with the development plan unless there are material considerations that indicate

otherwise. As advised above, there will be considerable benefits that will be delivered through the granting of the planning permission as well as adverse impacts. These are identified below and the degree of weight that should be applied is identified.

Benefits:

71. The site is located within a sustainable location and adjacent to the South of the M4 SDL boundary (although not identified for development). Significant improvements have been delivered through the Eastern Relief Road, South of the M4 Public Transport Strategy and access through the Science Park which means that the facility can be delivered with minimal disruption to the local road network and therefore local residents. These together with connections to a variety of transport modes to the wider region and Heathrow Airport means that the site is well served in terms of access. The sustainable nature of the site and existing access provision should afford modest weight for supporting the proposal.
72. The applicant has agreed to providing a significant uplift in biodiversity net gain. The existing site has limited ecological value given the intensive agricultural nature of the site. Though there is no formal policy requirement to provide Biodiversity Net-Gain, in consultation with Officers, the applicant has agreed to provide a 20% Biodiversity Net-Gain (above the Biodiversity Net Gain Target agreed at assessment) on and off-site for a 30-year agreement period, which outlasts this temporary permission for 25 years. The enhancements will be secured by the S106 and are expected to be delivered in the local area. On this basis significant weight should be afforded to the additional habitats that the proposal will provide in the long run.
73. The development will support the function and activities of the main studio site. The site will be located together in a cluster which will limit external trips away from the main studio complex in order to access an alternative outdoor facility. As this reduces vehicle movements associated with the use of both complexes, limited weight can be afforded to clustering these activities in one location and reducing the need for external trips by supporting staff.
74. Whilst the proposal will not directly generate demonstrable additional jobs than those projected from the studio site itself, there will be construction jobs generated in the short term and the addition of this facility to the wider site will mean that more filming is achievable at the Shinfield Studios site thus creating greater economic and workforce opportunities locally. However, it is considered limited weight should be afforded to construction jobs generated from this element in isolation.

Impacts of the proposal:

75. The site would result in the loss of agricultural land and countryside by the nature of the proposed activities. The use is however temporary and controlled by conditions 3, 4 and 6 to which land would be required to be restored at the end of the temporary consent to its former condition. On this basis, given the temporary use, limited to moderate weight should be afforded to the impact on the character of the countryside and agricultural land.
76. In terms of trees and landscape, the trees surrounding the site would be retained and the application seeks to strengthen this buffer. No trees have been identified

for removal and tree protection plans have been submitted to retain the existing landscape features to which condition 10 has been suggested to secure this. The existing trees filter views through to the site reducing views from the wider footpath network (namely Shinfield Footpath 4) which provide the main public vantage points. On this basis, given that the trees would be retained and strengthened, limited weight should be afforded to the impact on trees and landscape.

77. In terms of noise and neighbour amenity, for the construction and operational phase of the development, it is acknowledged that there will be a degree of noise and disturbance associated with this. The construction activities are however very limited to support the use of the site and would not be for a significant amount of time. Construction activities will be controlled by the CEMP secured via condition 9 and hours controlled by conditions 7 and 8. In respect to the use of the site, limited by condition 3 given the onsite relationships together with the level of separation, it is not considered that there would be significant harm to neighbouring dwellings. As advised the site has been operating under the Prior Notification application and no complaints have been received. On this basis limited harm would arise to surrounding residents and limited weight should be afforded to this element of the proposal.
78. For minerals, as advised there is limited resource identified in the area and the significant majority of the application site lies outside potential deposits and the Minerals Safeguarding Area (MSA). Moreover, any deposits would not be viable to remove given the scale. The application is temporary in nature and given these factors, very limited weight should be afforded to this element of the proposed use of the land.
79. In respect to heritage, the application has been assessed by the Conservation Officer who has raised no objections to the impact on the listed buildings adjoining the site. It is therefore not considered that there would be significant harm to these heritage assets and limited weight is afforded to this aspect of the development.
80. The site is not expected to generate more jobs than those envisaged in the long run for the studios although as mentioned above, it would support the clustering of the studio uses in the area. On this basis the development would not significantly increase trip rates and the impact on the highway network would be low, therefore limited weight should be afforded to element of the use of the site.

Planning Balance Summary:

81. For the reasons discussed above, on balance, it is considered in this case that material considerations - notably the 20% Biodiversity Net Gain, 5% uplift in the main Shinfield Studios site sustainability (above the 20% previously secured) via the provision of photovoltaics, Skylark protection measures and wider economic contributions to the Borough, outweigh the minor policy conflict and the proposals would represent sustainable development in the context of the NPPF and the development plan as a whole that would not be at the detriment of adjoining occupiers, the character of the area nor the countryside.

CONCLUSION

When weighing up the overall impact of the temporary use of the facility and associated temporary structures, it is considered that the proposal will contribute to the substantial economic and social benefits offered to the Borough by Shinfield Studios LTD. In addition, the ecological enhancements will assist in reducing the environmental impact of the development, and in fact enhancing it and the wider local to sub-regional area.

These together with a sound layout and temporary period proposed will outweigh any significant harm to the countryside or minerals and waste and thereby the objectives of Policy 1 of Shinfield Parish Neighbourhood Plan, Policy CP11 of the Core Strategy and Paragraph 48 of the NPPF.

The special circumstances that have been demonstrated by the applicant and will be secured through the S106 / conditions, together with the same end user identified as the permanent Shinfield Studios as well as the ability to restrict the use and built form within the site area for film use only, taking into account the site constraints. The above, combined with land remediation weighs heavily in favour of supporting the application.

The application can therefore be recommended for approval subject to the conditions outlined above and securing the planning obligations outlined above by way of a S106 legal agreement to secure 20% (above the Biodiversity Net Gain Target agreed at assessment stage) on and off-site biodiversity net gain, 5% sustainability uplift over the existing 20% provision for the main Shinfield Studios site via the provision of photovoltaics (to a total of a quarter of all energy used by the Studios coming from sustainable sources) and adequate Skylark mitigation via the re-submission of the previously approved Skylark Mitigation strategy in conjunction with the VAR/2014/0624 (as varied) Shinfield West Outline approval.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions / Informatives

Conditions and informatives:

Conditions:

Timeframe for implementation

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

Approved details

2. This permission is in respect of the following submitted application plans, documents and drawings received by the Local Planning Authority:
 - Backlot Location Plan – DRG NO. A282-092 Revision P2
 - Backlot Boundary Plan – DRG NO. A282-088 Revision P7
 - Backlot Site Plan – DRG NO. RG-LP-04J
 - Flood Risk Assessment, prepared by ALP – 23 September 2022 - A282-R034B
 - Shinfield Studios FRA Technical Note Addendum - A282 TN09 - Prepared by P Jenkin, ALP - 21-03-2023
 - Shinfield Studios Loddon Hydraulic Modelling Outputs – 332511488 TN011 - Prepared by Douglas Hardman, Stantec - 16-03-2023
 - Transport Statement, prepared by ALP – 7 September 2022 - A282-R033/A
 - Arboricultural Report, prepared by FLAC – September 2022 - CC41-1001
 - Shinfield Studios: Backlot for External Filming and Temporary Film Sets (Temporary Permission) - Revised Ecology Statement
 - Landscape & Visual Statement, prepared by Barton Willmore, now Stantec – August 2022 - 30845/A5
 - Heritage Statement, prepared by Barton Willmore, now Stantec – August 2022 - 30845/A5/P3/ES/SO
 - Acoustic Statement, prepared by Sharps Redmore – 23 September 2022 – 2221357
 - Temporary (for a period of 5 years) Film Studio Backlot, Land South of Oldhouse Farm: Landscape and Visual Technical Note Addendum Prepared on behalf of Shinfield Studios - November 2022
 - Construction Environmental Management Plan (CEMP) (Abbey Letchford partnership Ltd, Reference A282-R015/F dated 23/01/2023)

The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

Use

3. The application site as outlined in the approved plans, shall be used only for activities in connection to the production of media and filming activities and the

associated uses including the offices hereby approved and other uses identified within the planning application and for no other purpose.

There shall be no live audiences for media and filming activities without the prior approval in writing of the Local Planning Authority and requests for such events shall be made 10 working days prior to the event.

Reason: Significant weight has been applied to the economic benefits of the merits of the proposed development and another form of use may not be acceptable in the countryside and to ensure that there are no adverse impacts on highways. Relevant policy: NPPF, Core Strategy policies CP1, CP3 and CP6.

Temporary Use:

4. The temporary backlot hereby approved is to cease operation no later than 5 years from the date of the permission issued with the land reverting back to its existing agricultural use immediately after this period.

Reason: To protect the Borough's existing provision of agricultural land and to accord with the temporary permission hereby approved. Relevant Policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

Structure Heights:

5. The temporary buildings associated with the use detailed in condition 3 shall not exceed 8 metres in height where they are within the vicinity of Oldhouse Farm or 15 metres in height for the remainder of the site as defined in the approved 'Site Plan - RG-LP-04 Revision J' forming a part of condition 2, 'Approved Plans' unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the setting of the Grade II Listed Oldhouse Farmhouse and Barn and limit impacts on the landscape character of the Loddon Valley. Relevant Policy Managing Development Delivery Local Plan policy TB21 and TB24.

Land Remediation:

6. Upon the 5-year temporary period hereby approved lapsing, the land forming the temporary backlot is to be cleared and remediated to the previous condition and use prior to the approved change of use.

Reason: To protect the Borough's existing provision of agricultural land, ensure sufficient remediation measures are undertaken and to accord with the temporary permission hereby approved. Relevant Policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

Hours of construction work

7. No construction work or set creation and erection relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 07:30 and 18:30 Monday to Friday and 08:00 to 15:00 Saturdays and at no time on Sundays or Bank or National Holidays unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

Hours of operation

8. No deliveries shall take place including loading and unloading between the hours of 01:00 and 06:00 Monday to Sunday inclusive. Within these hours, no plant or machinery shall be operated within the site area hereby approved.

Reason: To safeguard residential amenities. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

Construction Environmental Management Plan

9. The construction and remediation of this site is to follow the principles set out in the Construction Environmental Management Plan (CEMP) (Abbey Letchford partnership Ltd, Reference A282-R015/F dated 23/01/2023)

Reason: To minimise the environmental impacts of construction and to protect residential amenity. Relevant policy CP1 and CP3

Tree Protection

10. a) No development or other operations shall take place except in complete accordance with the Arboricultural Method Statement (AMS) by FLAC dated September 2022 and associated Tree Protection Plans (hereinafter referred to as the Approved Scheme).
- b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all external works including set production have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: In the interests of visual amenity and tree protection. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

Landscaping

11. Planting shall be carried out in accordance with the Planting Plan (RG-LD-50) and Planting Schedule (RG-LD-51) in the first planting and seeding seasons following the occupation of the site. Any trees or plants which, within a period of 5 years from

the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: In the interests of visual amenity and landscape protection. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

Environmental Health

12. Should any unforeseen contamination be encountered during the development, the developer shall inform the Local Planning authority immediately. Any subsequent investigation/remedial/protective works deemed necessary by the LPA shall be carried out to agreed timescales and approved by the LPA in writing. If no contamination is encountered during the development, a letter confirming this fact shall be submitted to the LPA upon completion of the development.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised. Relevant policy CP1 and CP3.

13. All plant, machinery and equipment installed or operated in connection with the carrying out of this permission shall be so enclosed and/or attenuated that noise therefrom does not exceed at any time a level of 5dB[A] above the existing background noise level [or 10dB[A] if there is a particular tonal quality] when measured at a point one metre external to the nearest residential or noise sensitive property, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that no nuisance or disturbance is caused to the occupiers of neighbouring properties. Relevant policy: NPPF Section 15 (Conserving and Enhancing the Natural Environment), Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

Flooding and Drainage:

14. The development shall be carried out in accordance with the submitted flood risk assessment (Temporary (for a period of 5 years) Film Studio Backlot, Land South of Oldhouse Farm, Shinfield, Flood Risk Assessment, Shinfield Studios, 23rd September 2022, Abley Letchford Partnership) and Technical Note Addendum (Shinfield Studios, project no. A282-TN09, 21 March 2023, P Jenkin, Abley Letchford Partnership) and the following mitigation measures detailed in these documents:

- i) No built development or changes to ground levels within the 5% annual exceedance probability flood extent as detailed in Figure 2 and section 1.5 of the Technical Note Addendum
- ii) No built development or changes to ground levels within the 1% annual exceedance probability flood extent plus 14% Climate Change Allowance as detailed in Figure 4 of the Technical Note Addendum
- iii) The duration of the development is for 5 years only, as detailed in section 4.1 of the Flood Risk Assessment. If at any point in the future an extension is sought, then the Flood Risk Assessment must be fully revised and updated to take into account the latest guidance, including

climate change allowances. The applicant should be prepared to submit in full any data which is used to underpin the Flood Risk Assessment.

Reason: In accordance with paragraph 167 of the National Planning Policy Framework and Policy CP1 (point 9) of the Wokingham Borough Local Development Framework (January 2010), this condition seeks to reduce the risk of flooding to the proposed development and ensure that flood risk is not increased elsewhere.

Archaeology

15. No development shall take place (outside of the area already in use subject to Prior Approval 221645) until the applicant or their agents or successors in title have secured the implementation of a programme of archaeological work (which may comprise more than one phase of works) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the planning authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

Reason: The site lies within an area of archaeological potential. The condition will ensure that any archaeological remains within the site are adequately investigated and recorded in order to advance our understanding of the significance of any buried remains to be lost and in the interest of protecting the archaeological heritage of the Borough.

Ecology

16. Prior to occupation, a "lighting design strategy for biodiversity" for the backlot shall be submitted to and approved in writing by the local planning authority. The strategy shall:
- a) identify those areas/features on site that are particularly sensitive for bats and badgers and that are likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example, for foraging; and
 - b) A strategy that displays the maximum level of external lighting that will be installed on site which may affect the sensitive areas of the site as identified within part (a) of this condition so that it can be clearly demonstrated that areas to be lit will not significantly disturb or prevent the above species using their territory or having access to their breeding sites and resting places. the use of external lighting of the site shall thereafter be in accordance with the strategy unless otherwise subsequently agreed in writing with the Local Planning Authority.

Reason: to ensure that the development is not detrimental to protected species and retain ecological permeability as per MDD policy TB23.

17. Prior to the use hereby permitted commencing, details of all boundary treatment(s), including detail of protected species measures as outlined within the submitted "EPR Shinfield Studios: Backlot for External Filming and Temporary Film Sets (Temporary Permission) Ecology Statement (revision pending)", shall first be

submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

Reason: In the interests of amenity and highway safety. Relevant policy: Core Strategy policies CP1, CP3 and CP6 and MDD Policy TB23.

Informatives:

1. The applicant is advised that the planning approval should be read in conjunction with the S106 dated INSERT.
2. Adequate precautions shall be taken during the construction/ set up period to prevent the deposit of mud and similar debris on adjacent highways. For further information contact Corporate Head of Environment on tel: 0118 974 6302.
3. Any trees planted in connection with the development should be done so in accordance with the SGN tree planting guidelines, as outlined in section 20 of SGN document referenced SGN/PM/MAINT/5.



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Rev	Date	Description	Drawn	Checked
P2	09.22	RED LINE UPDATE	AG	PJ
P1	08.22	FIRST ISSUE	LPA	LPA

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Client
SHINFIELD STUDIOS

Project
FILM STUDIO STAGES & WORKSHOPS

Title
PROPOSED BACKLOT LOCATION PLAN

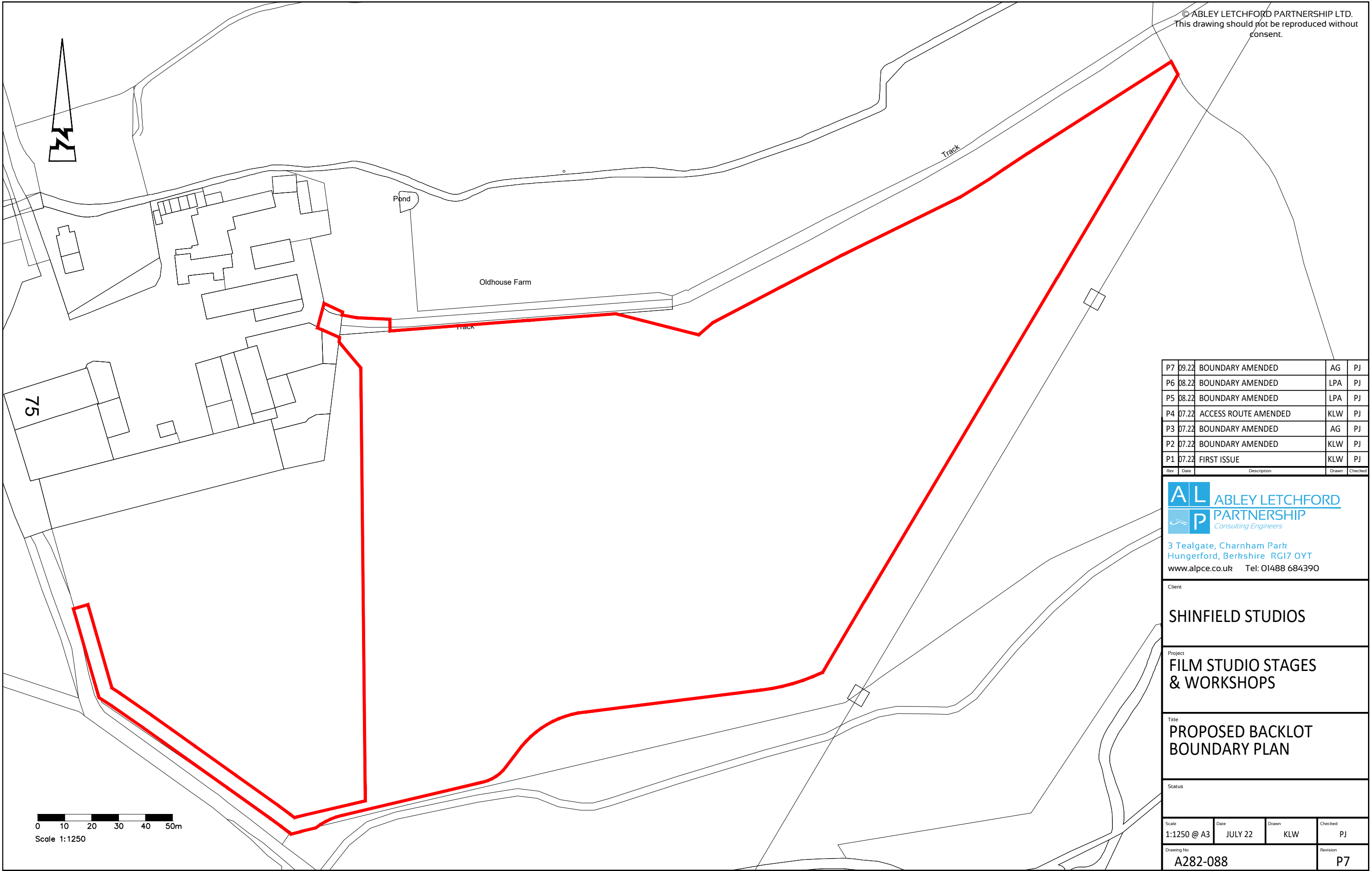
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1:5000 @ A3	AUG 22	LPA	LPA

Drawing No	Revision
A282-092	P2

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P7	09.22	BOUNDARY AMENDED	AG	PJ
P6	08.22	BOUNDARY AMENDED	LPA	PJ
P5	08.22	BOUNDARY AMENDED	LPA	PJ
P4	07.22	ACCESS ROUTE AMENDED	KLW	PJ
P3	07.22	BOUNDARY AMENDED	AG	PJ
P2	07.22	BOUNDARY AMENDED	KLW	PJ
P1	07.22	FIRST ISSUE	KLW	PJ

Rev	Date	Description	Drawn	Checked
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Client
SHINFIELD STUDIOS

Project
FILM STUDIO STAGES & WORKSHOPS

Title
PROPOSED BACKLOT BOUNDARY PLAN

Status

Scale	Date	Drawn	Checked
1:1250 @ A3	JULY 22	KLW	PJ

Drawing No	Revision
A282-088	P7







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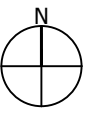


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Revision	Date	Drn	Ckd
A	11.08.22	OB	RG
B	12.08.22	OB	RG
C	19.08.22	ST	RG
D	25.08.22	DK	RG
E	31.08.22	OB	RG
F	01.09.22	OB	RG
G	02.09.22	ALC	RG
H	06.09.22	ALC	MO
J	22.09.22	MD	MH

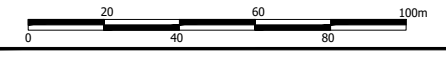
LEGEND

-  Site Boundary
-  Security Fence Line
-  Ecological Mitigation Zone
-  Backlot Area
Maximum 15m Height Parameter
-  Backlot Area
Maximum 8m High
-  Proposed Landscape Screening
(5m Width)
-  Proposed Hedgerow



Project
**Shinfield Studios Creative Media Hub
 TVSP**
 Drawing Title
Site Plan

Date	Scale	Drawn by	Check by
11.08.22	1:2,000 @A3	ML	RG
Project No	Drawing No	Revision	
30845	RG-LP-04	J	



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Agenda Item 115.

Application Number	Expiry Date	Parish	Ward
222805	12/05/2023	Finchampstead	Finchampstead South;

Applicant	Mr G Capes
Site Address	High Barn, Church Lane, Finchampstead, Wokingham, RG40 4LR
Proposal	Full application for the change of use of agricultural paddock with proposed shed and part of private woodland to commercial land to be used for the provision of dog walking services. (Retrospective)
Type	Full
Officer	Marcus Watts
Reason for determination by committee	Major application (<1 Hectare)

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 May 2023
REPORT PREPARED BY	Operational Lead Development Management
RECOMMENDATION	APPROVAL subject to conditions and informatives listed at Appendix 1 below.

SUMMARY

This proposal relates to a dog walking business use which is currently operating on a previously vacant agricultural paddock within the ownership of High Barn. Objections have been received from neighbours and the Parish Council which largely relate to the impact of the activity on the character and appearance of the area as well as noise and disturbance on neighbouring land users.

However, the scheme is an appropriate activity within the countryside being a sustainable rural enterprise, adequate parking provision has been demonstrated and there is limited impact on the character and appearance of the area and neighbouring amenities. The application does not seek to extend the operation outside of its current hours or area and operation hours can be secured by condition to prevent additional impact.

All other material planning considerations have been assessed and no adverse harm has been identified.

RELEVANT PLANNING HISTORY

211201 – Full application for the change of use of agricultural paddock with proposed shed and part of private woodland to commercial land to be used for the provision of dog walking services, with access through private woodland from new parking area. (Retrospective) – Withdrawn – 07.09.2021

DEVELOPMENT INFORMATION	
Previous land use	Agricultural/Private Woodland
Existing parking spaces	1
Proposed parking spaces	1
CONSTRAINTS	Countryside Contaminated Land Consultation Zone Landscape Character Assessment Area Thames Basin Heaths - Special Protection Area – 5km Linear Mitigation Zone Great Crested Newt Consultation Zone Complete PrOW – FINC Footpath 10 SSSI Impact Risk Zones

CONSULTATION RESPONSES	
WBC Environmental Health:	No objection
WBC Highways:	No objection subject to condition
WBC Landscape and Trees:	No objection
WBC Public Rights of Way:	No objection
WBC Ecology Newts	No objection

REPRESENTATIONS

Town/Parish Council:

Finchampstead Parish Council object on the following grounds:

- Change of use from agricultural to commercial constitutes development in the countryside and is contrary to policies in the emerging Neighbourhood Development Plan.
- Proposed fence height is too low to contain dogs, risk for livestock in adjoining fields and users on the public footpath.
- No easy access for emergency services, puts health and safety of employees at risk.

Local Members:

Cllr David Cornish objects on the following ground: The change of use from agricultural to commercial in the countryside, contrary to policies in the emerging Neighbourhood Development Plan.

Neighbours:

6 comments received objecting on the following grounds:

- Impact on the countryside.
- Impact of the change of use on neighbouring St James' Church (Grade I Listed) and Finchampstead Church Conservation Area.
- Impact on biodiversity.
- Noise and disturbance for users of the public footpath, adjoining fields and the surrounding area.

- Safety issues for users of the public footpath, boundary fencing is insufficient to contain dogs on the paddocks.
- Obstruction of the public right of way.
- Change of use is contrary to the emerging Finchampstead Neighbourhood Development Plan.
- Access is impractical and prevents emergency services from accessing the site, placing employees and members of the public at risk.
- The retrospective nature of the proposal.

2 comments received in support for the following reasons:

- Essential community service, unique to the area.
- The paddocks are a safe, secure location for the business which minimises disturbance for members of the public.
- Supports a local business.
- The proposed change of use does not represent a significant change in the character of the area.
- The proposed change of use would not intensify drainage issues and would not have a significant environmental impact on neighbouring land.

PLANNING POLICY

National Planning Policy Framework National Planning Practice Guidance

Core Strategy (CS)

CP1 – Sustainable Development
 CP3 – General Principles for Development
 CP6 – Managing Travel Demand
 CP7 – Biodiversity
 CP8 – Thames Basin Heaths Special Protection Area
 CP9 – Scale and Location of Development Proposals
 CP11 – Proposals Outside Development Limits (Inc Countryside)

MDD Local Plan (MDD)

CC01 – Presumption in Favour of Sustainable Development
 CC02 – Development Limits
 CC03 – Green Infrastructure, Trees and Landscaping
 CC06 – Noise
 CC07 – Parking
 TB21 – Landscape Character
 TB23 – Biodiversity and Development
 TB24 – Designated Heritage Assets

Other

Borough Design Guide Supplementary Planning Document
 Emerging Finchampstead Neighbourhood Development Plan

PLANNING ISSUES

Description of Development

1. This application is for the proposed change of use of the land to allow the provision of dog walking services and the retention of an existing mobile storage shed ancillary to the proposed use. The dog walking services take place in one of the four existing agricultural paddocks which are located to the north of Finchampstead Sports Club and to the east of High Barn (the residential dwelling within the Applicant's ownership). The application seeks to regularise this activity which has been occurring for the past 4 years, hence the retrospective nature of the proposal.
2. The proposed use currently takes place between 10:30 to 14:30 Mondays to Thursdays only, and no extension of these hours is sought. The maximum number of dogs per session is 20 and all are collected by staff members on their way to the site by appointment only. Clients do not drop off or collect their dogs from the site. The existing mobile shed is used for the storage of equipment relating to the activity and maintenance of the boundary treatment.
3. The site is accessed via the entrance to Finchampstead Sports Club off The Village (B3348). After collecting the dogs on route to the site, staff members drive through the car park associated with the sports club, which the applicant has a private right of way over, towards the rear of the car park where the vehicle is parked on hardstanding within the applicant's ownership. Under supervision the dogs then walk through the private woodland before crossing the public footpath and entering the paddocks.
4. Following the public consultation period, additional information including a set of revised plans was submitted by the applicant on 28 March 2023 to further clarify the scale of the activity and to clarify matters including access and parking.

Principle of Development

5. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
6. The application site is located outside of development limits within the countryside as designated by Core Strategy policy CP9 and MDD Local Plan policy CC02. CP11 states that development proposal will not normally be permitted except where one or more of the specified exceptions apply.

Of the specific exceptions in Policy CP11, the following are considered to apply:

- 1) *It contributes to diverse and sustainable rural enterprises within the borough, or in the case of other countryside-based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside; and*
- 2) *It does not lead to excessive encroachment or expansion of development away from the original buildings; and*

- 3) *It is contained within suitably located buildings which are appropriate for conversion, or in the case of replacement buildings would bring about environmental improvement;*
7. To begin with, dog walking is a typical recreational activity that does occur both in the countryside and urban areas. This proposal relates to a more formalised business arrangement for this activity which would only be practical with access to areas of public open spaces or open land sufficient for the exercise needs of the dogs. While the use of a private agricultural paddock appears to be unique to this case, the activity is not inappropriate in this location, nor wholly inconsistent with the use of the land for the exercise of horses or other animals. Moreover, the applicant has advised that the last agricultural activity on the site (sheep grazing) ceased in 2016. The proposal therefore represents a sustainable rural enterprise in context to the requirements of policy.
8. Concern has been raised about the use of the land by a business and the commercial nature of the proposal. While the activity is carried out by a professional business, it does not represent a significant intensification of a non-conforming use on this site, and for compliance with Policy CP11, the qualifying uses include commercial enterprises. Moreover, if permission were to be granted, it would only allow dog walking services to be carried out on the land and would not set a precedent for other commercial activities on the site or adjacent land, which would require permission in its own right and be determined on its own merits.
9. The proposed storage shed is the only form of operational development on the paddock. This structure is positioned on skids and is therefore mobile, this is typical of similarly sized structures on agricultural land and typically does not require planning permission in its own right. Due to its relatively small scale and mobile nature, it does not constitute excessive development within the countryside. While the paddock on which the activity is carried out is relatively isolated land which has not previously been developed, the nature and intensity of the use does not represent an excessive encroachment or expansion of inappropriate development within the open countryside as resisted by Policy CP11.
10. Comments have been received objecting to the proposal as it fails to comply with the emerging Finchampstead Neighbourhood Development Plan. Statutorily, this document is currently subject to limited weight as it is not adopted yet. Nevertheless, direct reference has been made to policies IRS1 – Protection and enhancement of Local Green Spaces and IRS4 – Implement strategy to preserve the identity of Finchampstead Parish through informal green spaces. The site is not designated as a Local Green Space within the neighbourhood Plan, so policy IRS1 does not apply. Regarding policy IRS4, due to the relatively limited scale of the activity and associated structure, any impact on the character and appearance of the countryside would be negligible.
11. Subject to impact on other material considerations, the proposal would constitute appropriate development in the countryside and is therefore acceptable in principle.

Impact on Character of the Area

12. Policy CP1 of the Core Strategy states that planning permission will be granted for development proposals that 'maintain or enhance the high quality of the environment'. Policy CP3 of the Core Strategy states planning permission will be granted if development is 'of an appropriate scale of activity, mass, layout, built form, height, materials and character to the area together with a high quality of design without detriment to the amenities of adjoining land users including open spaces or occupiers and their quality of life'.
13. The paddocks run parallel to a Public Right of Way, Footpath 10, which cuts across the application site in between the private woodland and the paddocks and connects Footpath 6 with Footpath 9. When traversing the footpath, the boundary adjacent to the footpath is lined with mature trees which largely block views of the activity. This significantly mitigates the visual impact of the proposed use and storage shed.
14. The limited scale of the proposed use is exemplified by its limited operating hours of 10:30 to 14:30 Monday to Thursday only. To ensure that the scale of the activity remains at an acceptable level, a restrictive hours condition is recommended to limit the proposed use to within these hours.
15. The activity is of an appropriate scale for its countryside location and does not adversely detract from the appearance of the area. Additionally, the proposed scheme has a limited impact on the enjoyment of users of the public footpath and does not detract from the rural character of the area.
16. Objections have been raised about the height of the current fences and access gates which are at a maximum of 1.2 metres high, and the possibility of dogs being able to jump over the boundary treatment onto the Public Right of Way or neighbouring land. While these concerns are duly noted, it is impractical for all fencing in the countryside to be designed to height which would prevent such events occurring, and any significantly higher fences and gates are likely to be out of character within this setting and would detract from its appearance. Moreover, any potential security issues relating to the control of dogs is not a material planning consideration but would be the responsibility of the business operators who should always have suitable training and liability in place.
17. Overall, the proposed use is of an appropriate scale for its location and does not detract from the appearance and enjoyment of the surrounding countryside. The scheme is therefore acceptable in this regard and hence complies with Core Strategy policies CP3 and CP11.

Neighbouring Amenities

18. The closest neighbouring residential property to the paddocks is Lower Cottage, Church Lane which is approximately 39 metres from the north-eastern boundary of the site. Adjacent to the western boundary of the paddocks is Rectory Farm.
19. Several objections have been received relating to the associated noise and disturbance with the activity. The applicant has advised that the maximum number of dogs per session is 20, and that they are supervised by 2 or 3 members of staff.

20. While it is acknowledged that noises associated with the activity, primarily dog barking, will be audible from adjoining land users, the scale of activity is not significant enough to amount to adverse harm on the enjoyment of neighbouring land including the public footpath. As already discussed, the activity is restricted to 16 hours per week Monday to Thursday. Hence, the proposal would have limited impact on the informal use of the public footpath with no impact outside of these times.
21. WBC Environmental Health have reviewed the application and raised no objection to the hours of operation or maximum number of dogs. Moreover, the Environmental Health Officer has searched the Council's database for neighbouring post codes and confirmed that there have been no recorded nuisance complaints since the dog walking activity was established on the site.
22. With the exception for a brief period of time in which the dogs are transferred in between the private woodland and the paddocks, the activity is fully contained within enclosed land with minimal disturbance to neighbouring occupiers or members of the public.
23. Therefore, there are no grounds to indicate that the level of activity has had a detrimental impact on neighbouring land users or have cause for concern in the long-term. The scheme is therefore acceptable in this regard and hence complies with Core Strategy Policy CP3.

Access and Movement

24. Core Strategy Policy CP6 indicates that proposals should allow for transport choice, improve infrastructure, provide appropriate parking, mitigate adverse effects, enhance road safety and not cause highway problems. CC07 of the MDD Local Plan contains the Borough parking Standards. The NPPF advises at paragraph 111 that development should only be prevented or refused on highway if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
25. Following the submission of the application, additional information was submitted relating to access and parking provision. The plans propose parking provision for 1 vehicle on existing hardstanding to the north of the car park serving Finchampstead Sports Club and within the applicant's ownership. Visits to the site has confirmed that there is sufficient space within this area for two vehicles.
26. The Council's Highways Officer has reviewed the scheme and raised no objection to the parking arrangement.
27. Beyond the parking area, access to the site is on foot via an informal route through the private woodland and then across Footpath 10 into the paddocks. A gate entry system is used at this access point which temporarily blocks the footpath and would be a brief inconvenience for users. The Council's Public Rights of Way has reviewed the scheme and raised no objection to this arrangement.
28. Therefore, the scheme is acceptable in this regard.

Landscape and Trees

29. The trees within and adjacent to the application site are not protected by a Tree Preservation Order but significantly contribute to the verdant character of the countryside. Further information submitted by the applicant has confirmed that the access route through the private woodland is well established and would not require the removal of any trees. The parking area also sits outside of the woodland on existing hardstanding.
30. The scheme does not require the removal of any trees or other soft landscaping features. The mobile shed is positioned within the paddock and is sited away from the mature trees adjacent to the public footpath. The Council's Landscape and Trees Officer has reviewed the application and raised no objection.
31. Therefore, the scheme is acceptable in this regard and hence complies with Policy CC03.

Ecology

32. Policy CP7 of the Core strategy and TB23 of the MDD Local Plan relate to Biodiversity and Development. The application site falls within a habitat identified to be potentially suitable for Great Crested Newts, a protected species.
33. The Ecology Newts Officer has reviewed the scheme and confirmed that the change of use is unlikely to have resulted in impacts to GCN or their habitats and subsequently raised no objection. Due to the scale and nature of the activity there are no further concerns relating to biodiversity or protected species.
34. Therefore, the scheme is acceptable in this regard and hence complies with Policies CP7 & TB23.

Other Issues

35. Concern has been raised regarding the impact of the scheme on Finchampstead Church Conservation Area and Grade I Listed Church of St James to the north-east of the application site. Due to the considerable distance from the application site to these designated heritage assets, approximately 70 metres, and the acceptable impact on the wider character of the area, it is not considered that the proposal would have a specific impact on the setting on these assets and is compliant with Policy TB24 of the MDD Local Plan.
36. Several objections have been received relating to safety concerns for users of the public footpath as well as the staff operating the business. As mentioned above, this is not a material planning consideration and would fall under Environmental Protection legislation relating to public dog handling and animal welfare legislation. The applicant has advised that the staff members of 'Paws 4 Walking' are fully licensed and accredited dog handlers, and the activity is covered by Liability Insurance.

Conclusion

37. Overall, it is considered that the proposed use is not an incompatible countryside activity, has an acceptable impact on the character and appearance of the area, and does not cause any significant harm to the amenity of neighbouring land users. There are no concerns relating to other material planning considerations.

38. The application is therefore recommended for approval subject to the conditions in Appendix 1.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions / informatives

APPROVAL subject to the following conditions and informatives:

- 1. Approved details – This permission is in respect of the submitted application plans and drawings numbered 01:B, 02:B, 03:B and 05 received by the local planning authority on 28 March 2023. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.*

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

- 2. Operating hours – The dog walking services hereby approved shall only be permitted to take place within the hours of 10:30 and 14:30 Monday to Thursday and at no time on Fridays, Saturdays or Sundays.*

Reason: In the interests of the amenity of the Countryside and neighbouring land users. Relevant Policy: Core Strategy policies CP1, CP3 & CP11.

- 3. Parking and turning space to be provided – The vehicle parking and turning space indicated in the approved plans shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.*

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

Informatives:

- 1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:*

- o submitting revised plans and additional information to address concerns relating to the scale of the activity, parking provision and trees.*

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

- 2. The applicant is reminded that should there be any change from the approved drawings this may require a fresh planning application if the changes differ materially from the approved details. Non-material changes may be formalised by way of an application under s.96A Town and Country Planning Act 1990.*

APPENDIX 2 - Parish Council Comments

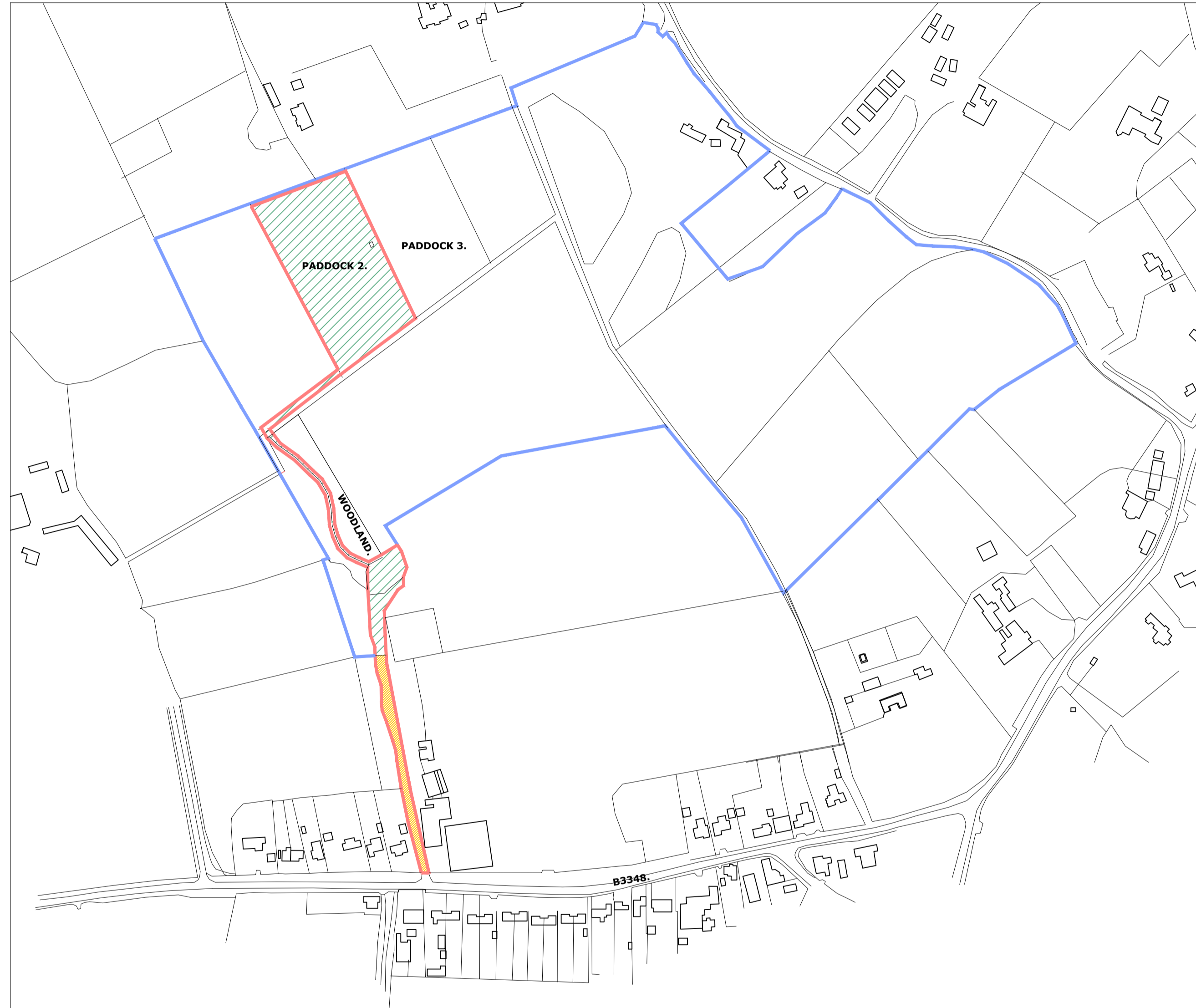
PLANNING REF : 222805
PROPERTY ADDRESS : FBC Centre
: Gorse Ride, Finchampstead, Wokingham
: RG40 4ES
SUBMITTED BY : Finchampstead Parish Council
DATE SUBMITTED : 19/01/2023

COMMENTS:

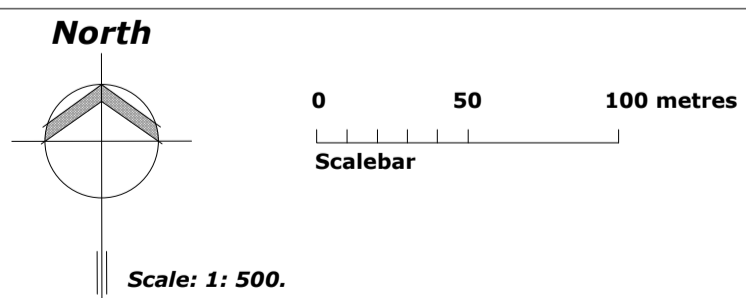
The Council objects to this application on the following grounds:

- Change of use from agricultural to commercial constitutes development in the countryside and is contrary to policies in the emerging FNDP.
- The fence height is too low to contain dogs which is particularly concerning for both livestock in the adjoining fields and walkers on the footpath.
- There is no easy access for emergency services should the need arise onsite and therefore puts the health and safety of those working there at risk.

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SITE LOCATION. SCALE 1:2500.



RED LINE SHOWS: PROPOSAL SITE
 BLUE LINE SHOWS: ADDITIONAL PROPERTY IN APPLICANTS OWNERSHIP

MCLAREN ASSOCIATES
 architectural and development consultants

MCLAREN ASSOCIATES
 24-26 ST LEONARDS ROAD
 WINDSOR
 BERKSHIRE SL4 3BB
 contact@mclaren-associates.com

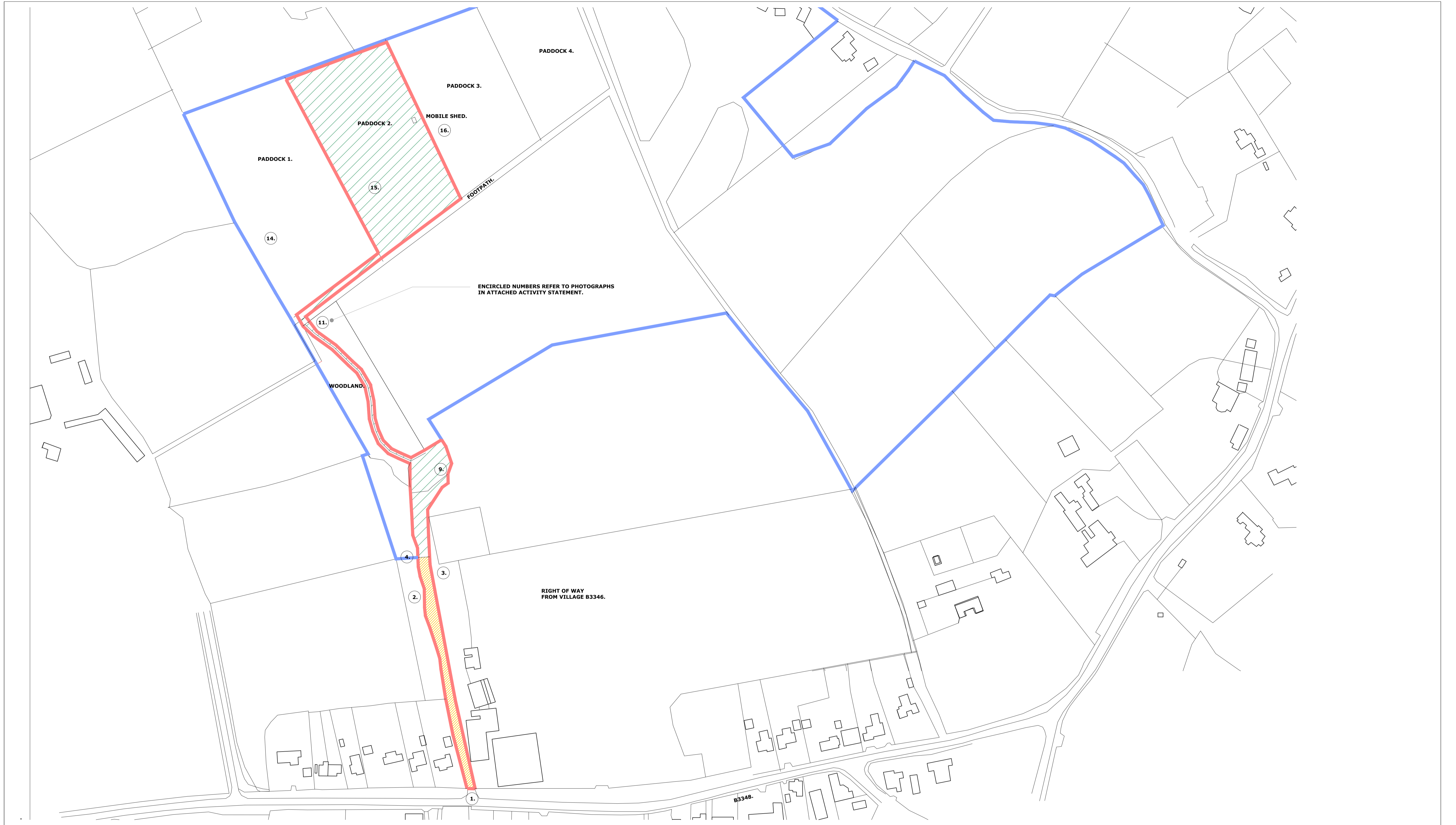
H I G H B A R N . F I N C H A M P S T E A D

PROPOSED LAND USE AT:
 HIGH BARN
 CHURCH LANE
 FINCHAMPSTEAD

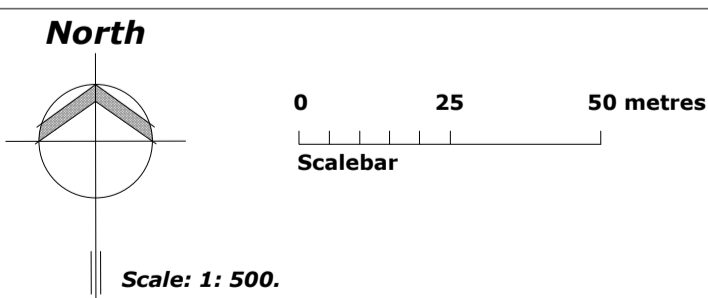
SITE ARRANGEMENT

SCALE: 1:2500 [A1]	AUTHOR : DCP	DATE: MARCH 2023
PROJECT: 1061K	DRAWING: 01	REVISION: B

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SITE LOCATION. SCALE 1:1250.



RED LINE SHOWS: PROPOSAL SITE
 BLUE LINE SHOWS: ADDITIONAL PROPERTY IN APPLICANTS OWNERSHIP

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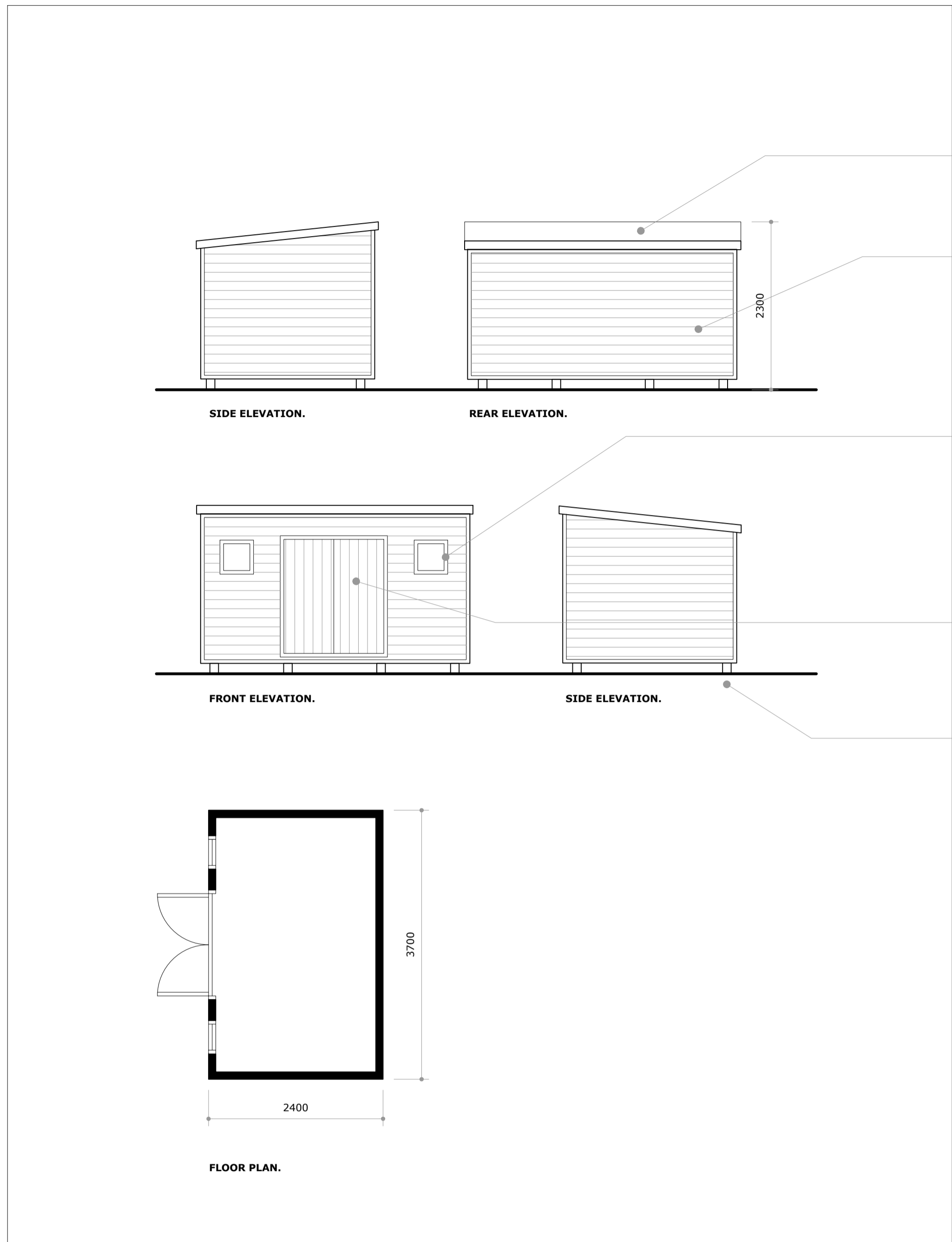
H I G H B A R N . F I N C H A M P S T E A D

PROPOSED USE OF LAND AT:
 HIGH BARN
 CHURCH LANE
 FINCHAMPSTEAD

SITE ARRANGEMENT
 AS PROPOSED:
 DELIVERY OF DOGS TO EXERCISE AREA.

SCALE: 1:1250 [A1]	AUTHOR : DCP	DATE: MARCH 2023
PROJECT: 1061K	DRAWING: 02	REVISION: B.

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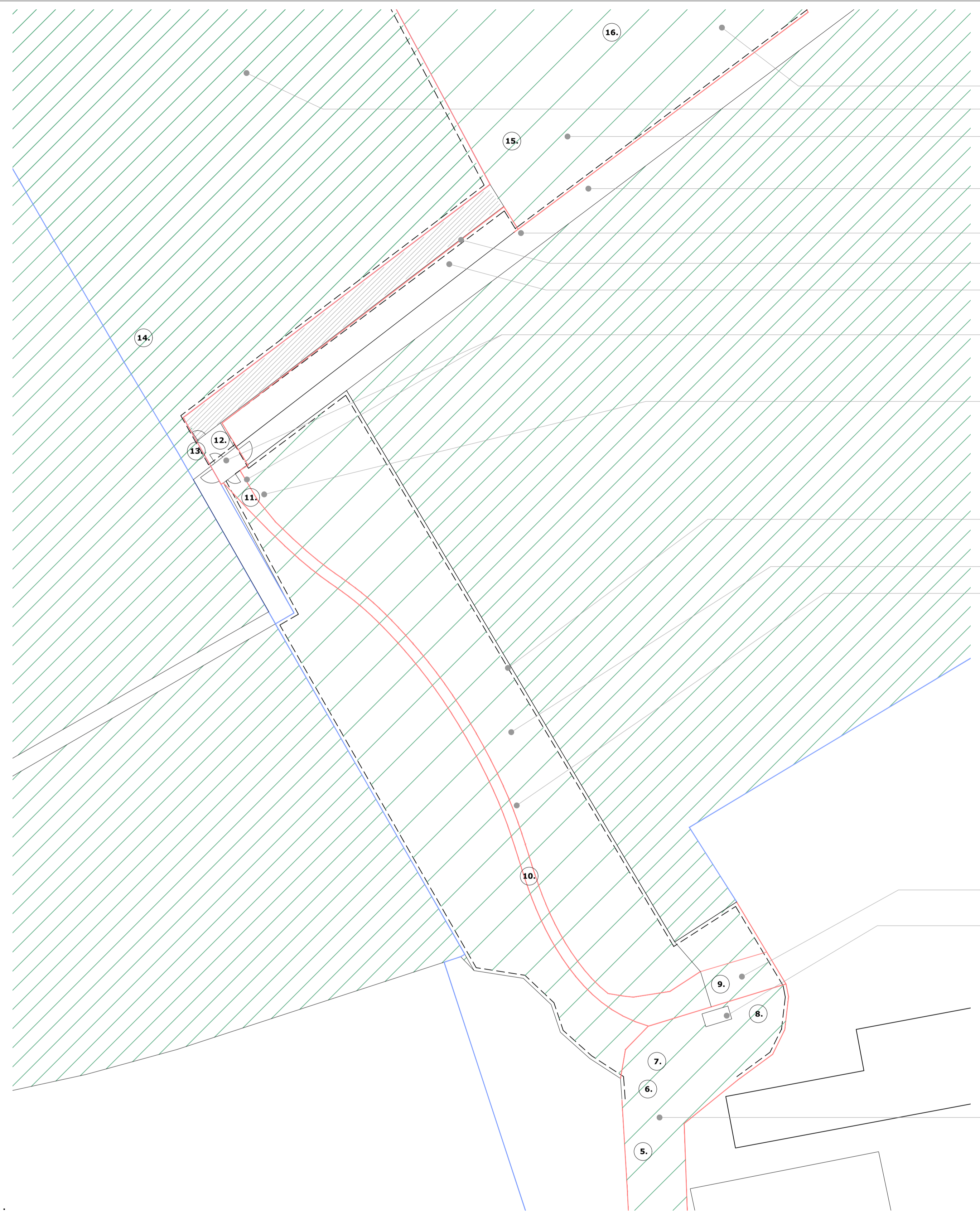
- MINERAL FELT ROOF.
- HORIZONTAL TIMBER BOARDING.
- TIMBER WINDOW FRAME.
- TIMBER DOORS.
- TIMBER SUPPORT RAILS ENABLING FREQUENT TRACTOR TRANSPORT TO ALTERNATIVE POSITIONING.

PLANS AND ELEVATIONS. SCALE 1:50.



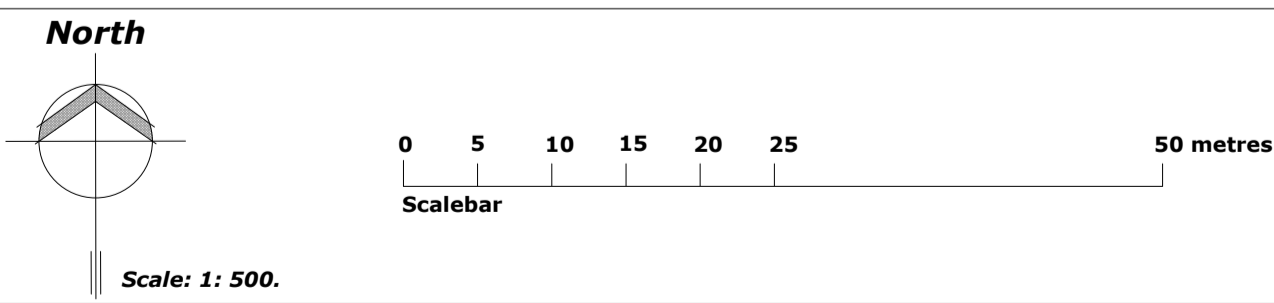
SCALE: 1:50 [A1]	AUTHOR : DCP	DATE: SEPTEMBER 2022
PROJECT: 1061K	DRAWING: 05	REVISION: .

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- EXISTING MOBILE SHED IS CURRENTLY POSITIONED AT MIDPOINT OF THE EASTERN BOUNDARY OF PADDOCK 2.
- EXISTING SHEEP PADDOCK 1.
- EXISTING PADDOCK 2 AREA TO BE USED FOR DOGWALKING ACTIVITY
- FOOTPATH ACROSS APPLICANT LAND WITH PUBLIC ACCESS
- RED LINE SHOWS APPLICATION AREA OF INTEREST
- DASHED LINE SHOWS ENCLOSURE FENCING
- HATCHED AREA SHOWS DEDICATED ENCLOSED ROUTE WITHIN PADDOCK 1 FOR DOGHANDLING TRAFFIC
- EXISTING FOUR-WAY GATES ALLOW DOGHANDLING CROSSING OF FOOTPATH WITH ENSURED BOUNDARY SECURITY.
- ENCIRCLED NUMBERS REFER TO PHOTOGRAPHS IN ATTACHED ACTIVITY STATEMENT. ● SEE PHOTOGRAPHS IN ACTIVITY STATEMENT FOR DETAILS OF GATES AND FENCES WHICH ARE ALL EXISTING.
- DASHED LINE SHOWS ENCLOSURE FENCING
- PRIVATE WOODLAND USED FOR ACCESS
- DASHED LINE SHOWS DEDICATED DOGHANDLING ACCESS ROUTE WITHIN ENCLOSED PRIVATE WOODLAND.
- FENCED AND GATED ENTRANCE PEN..
- DELIVERY VEHICLE PARKING STANCE.
- HATCHED AREA SHOWS APPLICATION SITE WITHIN APPLICANT'S OWNERSHIP.

BLOCK PLAN. SCALE 1: 500.



RED LINE SHOWS: PROPOSAL SITE
 BLUE LINE SHOWS: ADDITIONAL PROPERTY IN APPLICANTS OWNERSHIP

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H I G H B A R N . F I N C H A M P S T E A D

PROPOSED USE OF LAND AT:
 HIGH BARN
 CHURCH LANE
 FINCHAMPSTEAD

SITE ARRANGEMENT
 AS PROPOSED:
 ROUTE FROM VEHICLE DISEMBARK
 TO ACTIVITY PADDOCK AREA.

SCALE: 1:500, 1:50 [A1]	AUTHOR : DCP	DATE: MARCH 2023
PROJECT: 1061K	DRAWING: 03	REVISION: B

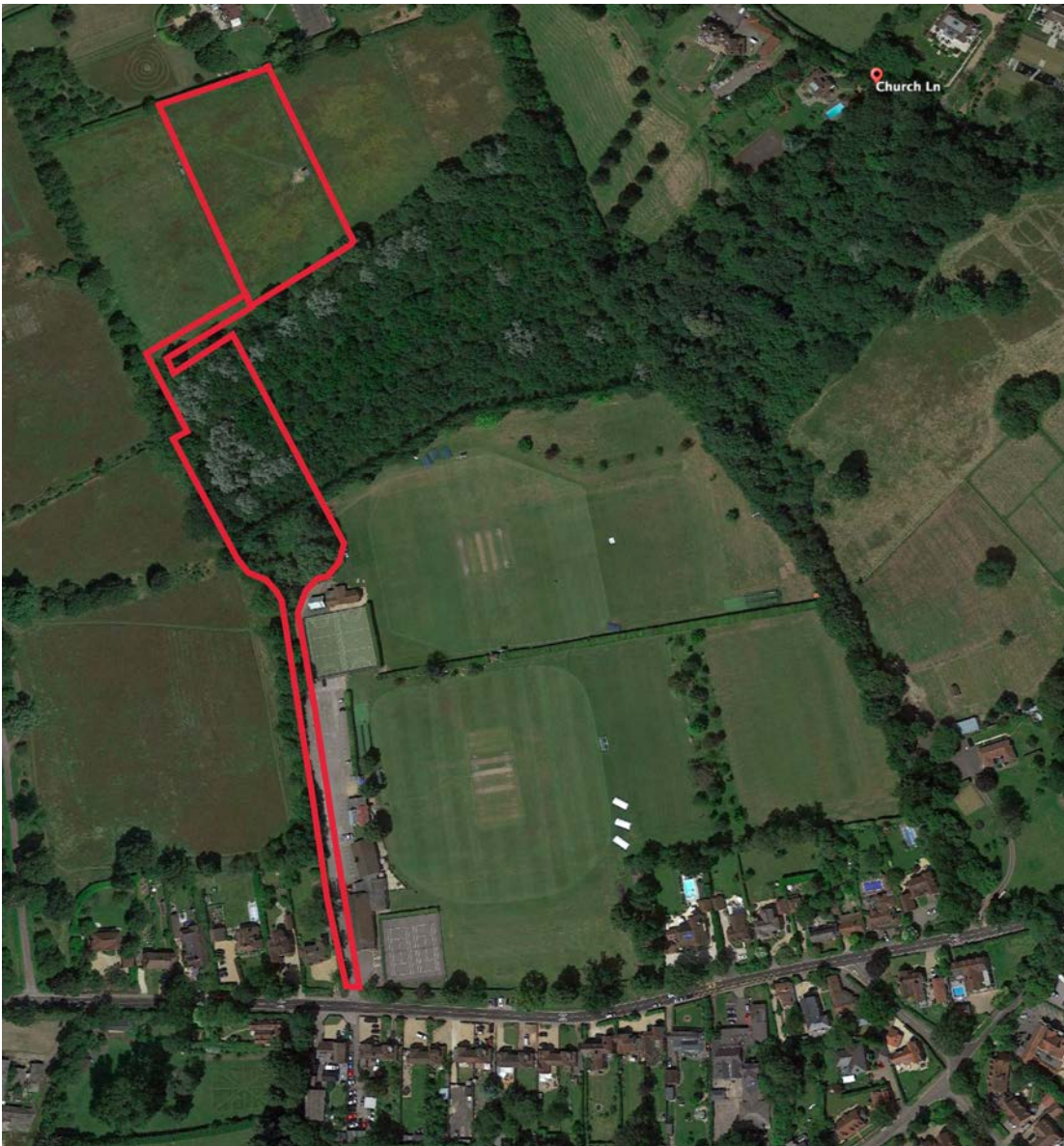
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**1061K_D03_ACTIVITY DESCRIPTION STATEMENT:
DOG_WALKING ACTIVITIES AT:
HIGH BARN, CHURCH LANE, FINCHAMPSTEAD, WOKINGHAM, RG40 4LR**

SUPPORTING DOCUMENTS

This Statement to be read in conjunction with 1061K_D01A_Design and Access Statement and submitted drawings no 1061K-01B, -02B and -03B.

The purpose of this Statement is to better illustrate the simple procedural and secure movements that comprise the entry and leaving of the proposal site by the Professional Handlers and their dogs in charge, demonstrating that there is at no point any potential for interaction with, or nuisance to be caused to, any parties beyond the occupants of the application site.



The Proposal Site is shown edged in red (including access route.)
See also Drawing 1061K-01A, -02A and -03.

The redline on the aerial view of the site above shows the extent of the zone in which the activities will take place, and that zone is wholly within the Applicant's ownership.

The Dog-handlers, whose professional credentials are described in the accompanying Design and Access Statement, enter the site by motor vehicle from a southerly direction off the B3348 highway at "The Village" via tarmac driveway with Highways-standard kerbs and vision splays, that also serves village memorial hall and sports club. See Image 1.



1. The entrance from the B3348.



2. The route past the car park, shown looking south.

As seen in Image 2., the access road passes a large tarmac car park for a distance of some 170m, at which point there is a white steel barrier gate adjacent to van-parking stances as shown in images 3 and 4.



3. Vans parked at the rear of the sports club car park area..



4 . Lightweight steel gates adjacent to van parking.

After a further 30m distance, the driveway passes the end of a playing-field enclosure and curves around a recently constructed timber-clad timber sportsclub building as shown in images 5 and 6 below.



5. Looking Southwards from the corner of the timber sportsclub building.



6. Looking North with the driveway curving behind the timber building..



7. The Dog-transport van parked beyond the timber building, ready to unload the dogs.

The dogs are unloaded into a secure compound with entrance and exit gates, as shown in images 8 and 9 below.



8. The dogs are unloaded through the galvanised steel gates into a secure compound with timber gates beyond.



9. The dogs are taken through the timber gates to the next stage of the journey.

The dogs are then led through the densely-wooded area that can be seen on the aerial view and the Image 10 below.



10. Dogs are led through the wooded area, well separated from all external fields and pathways.

At the northern end of the woodland, a four-way gate system secures crossing the footpath route. Dogs pass through the galvanised gates; timber gates control the footpath.



11. Dogs approach the footpath crossing.



12. Dogs are held securely in the compound beyond the footpath.



13. A gate in the timber fence to the north of the compound leads to the paddock areas beyond.



14. The neighbouring field with lavender crop is to the west of Paddock 1, and has a fenced boundary. Dogs pass along a fenced path within Paddock 1 to Paddock 2.

After passing securely through Paddock 1, without risk of reaching the neighbouring field, the dogs are exercised in Paddock 2, which has a secure perimeter fence.



15. Dogs are exercised in Paddock 2. The mobile shed can be seen in the background.



16. The existing mobile shed in Paddock 2 as shown on the drawings.

After the exercise period the dogs are returned via the same route for vehicle transport off the site.

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Agenda Item 116.

Application Number	Expiry Date	Parish	Ward
221797	12/05/2023	Earley	Hillside

Applicant	Mrs. C Burrows
Site Address	"Crookers", Rushey Way, Earley, Wokingham
Proposal	Outline application with all matters reserved for the proposed erection of 9 no. dwellings following demolition of the existing dwelling.
Type	Outline Planning Permission
Officer	Benjamin Hindle
Reason for determination by committee	Listed by Cllr Pauline Jorgensen and Cllr Caroline Smith

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 th May 2023
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>This application relates to the property Crookers, within the major development location of Earley. The proposal seeks to demolish the existing large detached dwelling and erect 9no. dwellings (net gain of 8no. dwellings). The application is submitted in outline with all matters reserved.</p> <p>The proposal is located within a sustainable location within an existing urban area where the principal of such development is supported. The scheme does however fail to provide the required 2.8 affordable units on site (subject to viability) and therefore is in recognised to be in conflict with policy CP5. However, for reasons outlined in this report, in this instance the identified policy conflict is considered limited.</p> <p>The quantum of development, indicative layout and type of dwellings are considered to be appropriate in terms of the nature and pattern of development in this particular location. The location of the access is considered to be acceptable and design details of the access are a reserved matter. There are no objections from the Highways Officer in relation to the access.</p> <p>The proposal involves the loss of a small number of protected trees. The removal of protected trees would be limited in its extent and the applicant has confirmed that these will be replaced as part of a comprehensive landscaping scheme which would include biodiversity net gain to enhance the ecological and nature environmental features of the site.</p> <p>The NPPF is clear that where development does not result in significant harm and is sustainable, it should be supported. The proposal achieves wider compliance with the overall spatial objectives of the NPPF in significantly boosting the supply of new homes in a sustainable location within the borough.</p> <p>When applying the tilted balance as required by Paragraph 11d(ii), the limited harm caused by the failure to provide a small affordable housing contribution and the loss of a small number protected trees is not considered to significantly and adversely outweigh those identified benefits associated with the provision of housing within a sustainable</p>

location which has an appropriate and safe means of access. Officers are therefore recommending the application for approval, subject to the conditions listed.

RECOMMENDATION

APPROVAL subject to conditions and informatives.

PLANNING STATUS

- Major Development Location
- Electricity sub-station consultation zone
- Potentially contaminated land consultation zone
- Tree Preservation Order
- Thames Basin Heaths - Special Protection Area – 5 and 7 km

RELEVANT PLANNING HISTORY

No relevant planning history

SUMMARY INFORMATION

For Residential

Site Area	0.27 HA
Existing units	1
Proposed units	9
Existing density – dwellings/hectare	3.7
Proposed density - dwellings/hectare	33.3
Number of affordable units proposed	0 units
Previous land use	C3 Residential and residential garden

CONSULTATION RESPONSES

Internal

WBC Property Services – No comments received
WBC Sports Development (Places and Neighbourhoods) -
WBC Environmental Health – No objection subject to conditions
WBC Drainage – No objection subject to conditions
WBC Highways – No objections subject to conditions
WBC Education (School Place Planning) – No comments received
WBC Economic Prosperity & Place (Community Infrastructure) – No objection subject to conditions
WBC Green Infrastructure – Non compliance with TB08 no on or off site public open space.
WBC Landscape and Trees – Objection due to removal of TPO trees
WBC Ecology – No objection subject to conditions
WBC Health and Wellbeing – No comments received
WBC Community Safety – No comments received
WBC Cleaner and Greener – No comments received

External

National Grid – No comments received.
Southern Gas Networks - There should be no mechanical excavations taking place above or within 0.5m of a low/medium pressure system or above or within 3.0m of an

intermediate pressure system. You should, where required confirm the position using hand dug trial holes.

SSE Power Distribution – No objections

Thames Water Utilities Ltd – No objections

Berks, Bucks & Oxon Wildlife Trust – No comments received.

NHS Wokingham CCG – No comments received

Crime Prevention Design Advisor – No comments received.

Royal Berkshire Fire & Rescue – No comments to make

Berkshire Archaeology - There is archaeological potential in the wider area, even if little is known nearer to the site, on account of a lack of investigation. Pre commencement conditions recommended

REPRESENTATIONS

Parish/Town Council	<p>Objection (05/04/2023)</p> <ul style="list-style-type: none"> - Layout does not demonstrate that 9 dwellings can be accommodated on site with suitable access. - No assessment of viability of junction and no transport statement - TPO trees are not retained - Contrary to CP3 & CC03 - Wildlife is not protected - No pre-application consultation - Unacceptable layout and design <p><i>Officer Comment: Layout, appearance, means of access, landscaping and scale are reserved matters and cannot be considered as part of this application. This application considers the principle of development only.</i></p>		
Ward Member(s)	<p>Cllr Jorgensen & Cllr Smith comments on original plans</p> <ul style="list-style-type: none"> - Design and layout – can site accommodate the dwellings - Highways Safety 		
Neighbours	Objections- on revised plan		
	1.	23 Beauchief Close	<ul style="list-style-type: none"> • No Acknowledgement of important hedgerows and trees • Overlooking and loss of privacy
	2.	34 Beighton Close	<ul style="list-style-type: none"> • No recognition of hedgerows on revised plan • Issues on ground levels for plot 1 • Development scale and height issues • Detrimental to the green space • No detail on how the egress will be treated

3.	11 Steeple Walk	<ul style="list-style-type: none"> • Access to the development is unsuitable • Proposed 3 storey houses are obtrusive • Removal of tress and hedgerows
4.	Steeple Walk, Reading RG64HR	<ul style="list-style-type: none"> • Increased traffic • Pressure on local community and services • Impact on local wildlife
5.	18 Wickford Way	<ul style="list-style-type: none"> • 9 houses in less then an acre of space is not viable • Not enough spaces for cars • 3 storey houses do not keep up with the current setting
6.	5 Steeple Walk	<ul style="list-style-type: none"> • Significant congestion will take place • 3 storey dwellings will impact privacy
7.	143 Hilmanton Lower Earley	<ul style="list-style-type: none"> • Loss of privacy • Risk of flooding for neighbouring properties • Visual impact • Loss of trees • Effects on wildlife • Traffic issues
8.	20 Wickford Way	<ul style="list-style-type: none"> • Reducing from 10 to 9 houses will have minimal impact • Impact on vehicle congestion • Impact on local infrastructure
9.	Beighton Close RG6 4HZ	<ul style="list-style-type: none"> • Proposed properties are obtrusive • Local areas land, stability and drainage will be impacted • Generation of traffic, pollution and parking
10.	28 Beauchief Close	<ul style="list-style-type: none"> • Height concern for plots 7, 8 and 9 • Access to the plot • Flooding issues • Properties will be intrusive • Loss of wildlife • Overcrowding in the area • Increased traffic

11.	16 Beauchief Close	<ul style="list-style-type: none"> • Pedestrian access will be impacted • Traffic levels • Access remains unimproved • Parking issues • Breach of permitted development • Loss of amenity • Privacy concerns • Increased noise pollution
12.	5 Tiptree Close	<ul style="list-style-type: none"> • Heavy Traffic overflow • Entrance is next to children crossing the road
13.	32 Easby Way	<ul style="list-style-type: none"> • Revise description • Site access does not comply with highway standards
14.	27 Beauchief Close	<ul style="list-style-type: none"> • Hedgerow is vital to importance of the land • Impacts local wildlife • Ground levels and flooding issues • Waste management issues
15.	4 Wickford Way	<ul style="list-style-type: none"> • 3 storey houses do not suit local area • Increased traffic • Lack of parking
Objections on previous plan		
17.	27 Beauchief Close	<ul style="list-style-type: none"> • Comments same as revised plan
18.	21 Beighton Clo Lower Earley	<ul style="list-style-type: none"> • Disappointed with the agent
19.	14 Cambrian Way	<ul style="list-style-type: none"> • Not in keep with current development • Not good for sustainability
20.	16 Beauchief Cl	<ul style="list-style-type: none"> • Comments remain the same on revised plan
21.	34 Beighton Close	<ul style="list-style-type: none"> • Comments same as revised plan
22.	98 Silverdale Road	<ul style="list-style-type: none"> • Loss of trees and hedging • Violates the local plan
23.	28 Beighton Close	<ul style="list-style-type: none"> • Increase in pollution • Detrimental to wildlife • Privacy issues with houses being to close • Parking issues

24.	45 Main Road	<ul style="list-style-type: none"> • Access to the development • 3 storey plots are too high and violate privacy • Effect the great crested newts • Loss of trees
25.	77 Hilmanton RG64HN	<ul style="list-style-type: none"> • Infrastructure will not support the development • 3 storey houses result in loss of privacy
26.	2 Tiptree Close	<ul style="list-style-type: none"> • Excessive number of homes • 3 storey houses do not keep up with the area • Traffic congestion
27.	25 Ryhill Way	<ul style="list-style-type: none"> • Violates the council's climate emergency plan • Loss of trees and hedges • Privacy issues of plots 7, 8 and 9
28.	90 Hilmanton	<ul style="list-style-type: none"> • Space for development is too small • Access issues • Developers maximising profits with no concern for local community
29.	159 Hilmanton	<ul style="list-style-type: none"> • Safety for school children • Detrimental to quality of life • Air pollution issues
30.	5 Wickford Way Lower Earley	<ul style="list-style-type: none"> • loss of trees • Objects to erection of 3 storey houses
31.	1 Hilmanton	<ul style="list-style-type: none"> • Not in keep with surrounding properties • Issues with road access • Inadequate space for parking • Loss of privacy
32.	9 Tiptree Close	<ul style="list-style-type: none"> • Density of development is too much • Access to the site will cause congestion • Parking issues
33.	5 Steeple Walk	<ul style="list-style-type: none"> • Comments same as revised plan
34.	11 Steeple Walk	<ul style="list-style-type: none"> • Comments same as revised plan

35.	96 Hilmanton	<ul style="list-style-type: none"> • Not in keep with the area • Increased cars and parking • More school children attending an overpopulated school • Loss of trees • Burden to local GP
36.	16 Tiptree Close	<ul style="list-style-type: none"> • Access to the road will be an issue • Development is overlooking • Landscaping problems • Inadequate parking
37.	3 Steeple Walk	<ul style="list-style-type: none"> • Increased pollution levels • Visual amenity
38.	11 Tiptree Clos Lower Earley	<ul style="list-style-type: none"> • Highway safety issues • Overdevelopment of the area • Loss of trees
39.	2 Wickford Way	<ul style="list-style-type: none"> • Significant traffic • Lack of parking • Tree destruction • More school places • 3 storey houses • Overlooking • Not keeping within local setting
40.	7 Tickhill Close	<ul style="list-style-type: none"> • Issues with increased housing • Lack of privacy • Increased congestion
41.	2 Steeple Walk	<ul style="list-style-type: none"> • Inadequate access and highway safety • Inappropriate design • Privacy issues due to high buildings • Loss of trees • Local services already too stretched
42.	25 Beauchief Close	<ul style="list-style-type: none"> • 10 proposed dwellings for 1 current dwelling • Safety and access issues
43.	245 Rodway Road	<ul style="list-style-type: none"> • Too many houses being built • Buildings should be reduced in height • Doctors surgery is overstretched
44.	22 Carshalton Way	<ul style="list-style-type: none"> • Not enough doctors to deal with increased persons

		<ul style="list-style-type: none"> • Trip to pharmacy will be redirected to a telephone conversation
45.	20 Wickford Way Lower Earley	<ul style="list-style-type: none"> • Not in keep with the surrounding area • Increase of 20 cars • Safety issues with regards to primary school • Local GP stretched out
46.	15 Tiptree Close	<ul style="list-style-type: none"> • Density of the development is too much • Road positioning issues • Reduction of green space • No increased infrastructure to deal with the development
47.	15 Beauchief Close	<ul style="list-style-type: none"> • 3 storey properties will look overlook
48.	30 Beighton Close	<ul style="list-style-type: none"> • Removal of laurel cherry hedge • Removal of 36 trees
49.	20 Beighton Close	<ul style="list-style-type: none"> • Inevitable lack of privacy • 3 storey buildings inconsistent with local upkeep • Inadequate access • Inappropriate design and density • Loss of habitats • Loss of trees
50.	17 Beauchief Close	<ul style="list-style-type: none"> • Proposed properties above ground of local properties • Burden on sewer and water works • Congestion issues
51.	23 Beauchief Close	<ul style="list-style-type: none"> • Comments same as revised plan
52.	143 Hilmanton	<ul style="list-style-type: none"> • Loss of privacy • Visual impact to local community • Loss of trees • Effects on wildlife • Traffic congestion • Local services will be stretched
53.	2 Beighton Close	<ul style="list-style-type: none"> • Issues with parking • 3 storey houses are not in keeping with local houses

		<ul style="list-style-type: none"> • Loss of both light and privacy • Proposed building is effectively a back garden
54.	Tiptree Close RG64HS	<ul style="list-style-type: none"> • Shocked at the proposal of 10 houses for 1 • Over 20 new cars on the road • Loss of trees
55.	Planters Lodge	<ul style="list-style-type: none"> • 3 storey houses have inadequate garden length • Access to the road • Large amount of hard standing • Parking will be overwhelmed • Destroying lung supporting wildlife
56.	1 Catcliffe Way	<ul style="list-style-type: none"> • Dangerous for a busy road • 3 storey houses are not in keep with the surrounding area
57.	34 Beighton Close	<ul style="list-style-type: none"> • Comments same as revised plan
58.	21 Beighton Close	<ul style="list-style-type: none"> • The intensive development of the plot is not in keeping with the local area • Properties will be overlooking • Destruction of the natural environment • Generation of traffic • Local services will be stretched
59.	26 Beighton Close	<ul style="list-style-type: none"> • Access route will be too busy • Proximity of proposed properties are too close to each other • Not enough space for development
60.	24 Beighton Close	<ul style="list-style-type: none"> • Size and scale is too much for 1 existing property • Detrimental effects on wildlife • Parking issues
61.	5 Beauchief Close	<ul style="list-style-type: none"> • 10 houses will cause too much congestion • Will affect the peacefulness of the community

	62.	32 Easby Way	<ul style="list-style-type: none"> • Comments same as revised plan
	63.	17 Beauchief Close	<ul style="list-style-type: none"> • Issues with new types of trees and foundations of our house • Will need to maintain more tree branches
	64.	12 Beighton Close	<ul style="list-style-type: none"> • Overcrowding in the area • Proposed windows would look into my property

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Practice Guidance
	NDG	National Design Guide
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP5	Housing mix, density and affordability
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP8	Thames Basin Heaths Special Protection Area
	CP9	Scale and Location of Development Proposals
	CP10	Improvements to the Strategic Transport Network
	CP11	Proposals outside development limits (including countryside)
	CP12	Green Belt
	CP13	Town Centres and Shopping
	CP14	Growth and Renaissance of Wokingham Town Centre
	CP15	Employment Development
	CP18	Arborfield Garrison Strategic Development Location
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits

	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC05	Renewable energy and decentralised energy networks
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
	TB05	Housing Mix
	TB07	Internal Space standards
	TB12	Employment Skills Plan
	TB21	Landscape Character
	TB23	Biodiversity and Development
	TB24	Designated Heritage Assets
Supplementary Planning Documents (SPD) / other		Borough Design Guide – Section 4

PLANNING ISSUES

Outline Applications:

1. The application has been submitted in outline, with all matters reserved, therefore the principle of development in this location can only be assessed.
2. Information about the proposed use or uses, and the amount of development proposed for each use, is necessary to allow consideration of an application for outline planning permission. An application for outline planning permission must indicate the area where access points to the development will be situated regardless of whether access is reserved.
3. Unless the applicant has indicated that those details are submitted “for illustrative purposes only” (or has otherwise indicated that they are not formally part of the application), the local planning authority must treat them as part of the development in respect of which the application is being made; the local planning authority cannot reserve that matter by condition for subsequent approval.

Background Information:

4. The scheme originally applied for was for up to 10 dwellings, a revised plan was received on 13 March 2023 reducing the scheme to 9 dwellings only. This would constitute a net gain of 8 dwellings.

Site Description:

5. The site is located within a major development location. It is 0.27ha in area and occupied by a part-single, part two-storey, flat-roofed dwelling built in the 1960s. Access is via Rushey Way. It is surrounded by more suburban residential estates, including those built in the 1980's, with Tiptree Close opposite the access point and fourteen dwellings on Rushey Way, Beighton Close and Beauchief Close bordering the site's perimeter.
6. Bus stops are approximately 50m and 127m away from the current access point for each direction and the services link to Reading town centre and mainline station: a 30 minute bus journey from the site. Numerous services and facilities are within a 0.5-1km walking distance from the site including a primary school, leisure centre and superstore.
7. A number of the trees on the site are protected by a Tree Protection Order (ref: TPO-1890-2022).

Proposal:

8. This application proposes the demolition of the existing dwelling and its replacement with 9 dwellings (8 net additional dwellings).

Principle of Development:

9. Section 38(6) of The Planning and compulsory purchase Act 2004 requires that applications for planning permission be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this case the Development Plan comprises the Core Strategy (CS), the Managing Development Delivery Local Plan (MDD) and Central and Eastern Berkshire Joint Minerals and Waste Plan (Joint Plan) (2023) which are read alongside the NPPF.
10. The MDD Local Plan policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.

Core Strategy (CS), the Managing Development Delivery Local Plan (MDD)

11. Policy CC02 of the MDD Local Plan sets out the development limits for each settlement as defined on the policies map. Policy CP9 of the CS sets out that development proposals located within development limits will be acceptable in principle, having regard to service provisions associated with the major, modest and limited categories.
12. The application site is located in a sustainable location within a major development location and within a settlement boundary; as such, the principle of the development is acceptable providing it complies with local and national policy and there are no other material considerations which dictate otherwise.
13. CS policy CP3 states that development must be appropriate in terms of its scale of activity, as layout, built form height, materials and character to the area in which it is

located and must be of a high-quality design without detriment to the amenities of adjoining land uses and occupiers. The appearance, means of access, landscaping, layout and scale of development are reserved matters and cannot therefore be considered until a reserved matters application for each matter is submitted.

Emerging Local Plan Update:

14. The Local Plan Update (LPU), the plan which will supersede the adopted Core Strategy and Managing Development Delivery (MDD) local plans, is at the consultative stage of preparation. To date, the council has consulted on two draft strategies for the LPU: the Draft Plan (2020) and the Revised Growth Strategy (2021). The emerging local plan is at an early stage in preparation and supporting evidence has been challenged and will be reviewed. Therefore, the LPU is afforded little weight in the overall balance.

Minerals and Waste Local Plan:

15. The Central and Eastern Berkshire Joint Minerals and Waste Plan (Joint Plan) was adopted by Wokingham Borough Council on 19 January 2023. The Joint Plan identifies site allocations and extensions to help provide a future supply of sand and gravel extraction. However, despite these allocations, there remains a shortfall of supply during the plan period. The policy response to address the shortfall is the identification of a 'Minerals Safeguarding Area' (MSA), where Policy M2 of the plan applies, and also an 'Area of Search' where Policy M4 applies. This approach is to demonstrate the potential for, in effect, windfall provision within the Plan area.
16. The site is located outside the MSA and therefore it is not considered commercially viable or suitable for prior extraction and removal.

NPPF and Housing land supply position:

17. The latest published assessment of housing land supply concluded a deliverable supply of 3.95 years as of the 31 March 2022.
18. The National Planning Policy Framework (NPPF) states under paragraph 11 that where a local planning authority is unable to demonstrate a five-year supply of deliverable housing sites, the most important policies relating to the application may be viewed as being out of date. It continues to advise that unless there are specific policies in the NPPF protecting the land subject to the application, that permission should be granted unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the NPPF. This presumption in favour of sustainable development outlined in paragraph 11 of the NPPF is commonly referred to as the 'tilted balance' as harm and benefits are not weighed equally, but tilted according to paragraph 11(d)ii).
19. The statutory status of the development plan as the starting point for decision-making. This is set out clearly in paragraph 12 of the NPPF and is a matter of law.
20. In considering the weight to be attached to the various benefits and adverse impacts of a proposed development under the NPPF and the development plan, any planning application must be considered in context.

21. Material to decisions on planning applications involving housing is the underlying reasons for the shortfall in deliverable housing sites.
22. The shortfall is not as a result of non-delivery of housing but due to the significant over delivery in recent years reducing the bank of land with extant planning permissions.
23. All evidence and assessments show that whether the housing target is defined through the requirement set out in the Core Strategy or the outcome of the standard method set out in national Planning Practice Guidance, delivery has significantly exceeded the target. If over delivery were taken into account over the whole Core Strategy plan period or since the introduction of the standard method, there would be no shortfall over the coming five years with over delivery significantly exceeding the shortfall.
24. In this context, the weight to be attached to the benefits of additional housing under paragraph 11 of the NPPF should be moderated. This reflects the approach set out in the Willow Tree House (Application ref 203560, Appeal ref: APP/X0360/W/21/3275086), Land at Baird Road (Application ref 202303, Appeal ref APP/X0360/W/21/3276169) and Land to the west of St Anne's Drive and south of London Road (Application ref 203544, Appeal ref APP/X0360/W/22/3297645) appeals, where the Inspectors only applied moderate weight to the provision of additional housing.
25. In the case of the former two appeals, the Inspector continued to consider the adverse impacts and dismissed the appeals. In the case of land to the west of St Anne's Drive, the Inspector acknowledged the Council's strong record of housing delivery, which he concluded could be said to have significantly boosted the supply of housing. Given this strong record of housing delivery performance, the Inspector noted:

'Under these circumstances, I consider that moderate weight is attributed to the modest contribution that the appeal scheme would make towards housing land supply in the area and reducing the shortfall in the 5-year supply of deliverable housing sites, which is itself limited.'(paragraph 45)
26. These three appeals were all determined before the most recent housing land supply statement was published. Based on the previous housing land supply statement, housing land supply was considered by the Inspectors to be between 4.34 to 4.92 years.
27. Nevertheless, this conclusion was reinforced by an Inspector following a very recent appeal decision at Land East of Lodge Road, Hurst (Application ref: 220458, Appeal ref APP/X0360/W/22/3309202) and was determined using the most recent housing land supply statement. The Inspector noted:

Even though the Council is currently unable to demonstrate a deliverable 5-year HLS, falling short by some 863 dwellings, I do not consider it reasonable to ignore the bigger picture, which is that there is a very strong likelihood that the Council will achieve a significant oversupply of dwelling completions over the whole Core Strategy period. To my mind this does not signify a Council that is failing in terms of housing provision, but rather one which is performing well and managing to boost the supply of housing over that which it planned for'(paragraph 32).

28. Completions data therefore continues to demonstrate high levels of housing delivery, and housing supply continues to be significantly boosted and should be weighed in the planning balance.
29. Any future application must be considered in line with paragraph 11(d) of the National Planning Policy Framework. This advises that the policies which are most important for determining the application should be deemed out of date and that permission should be granted unless:
 - i. The application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed;
 - ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.
30. Firstly, in considering i), it must be recognised that the proposed site is not located within any protected areas or assets of particular importance (as outlined above and within footnote 7 and paragraph 181 of the NPPF).
31. Acknowledging the requirements of paragraph 11(d)ii) and the titled balancing exercise which must be undertaken as a result of paragraph 11 being engaged, the underlying reasons for the shortfall in deliverable sites must be recognised. Notwithstanding this, under Paragraph 11d(ii) the LPA required to consider the proposal against the policies in the NPPF taken as a whole.
32. The NPPF support the Government's objective of significantly boosting the supply of homes. Paragraph 69 recognises the important role small and medium sized sites can make in contributing to meeting the housing requirement of an area and are often built out relatively quickly. This goes on to encourage LPAs to support the development of windfall sites through their decisions and give **great weight** (officer emphasis) to the benefits of using suitable sites within existing settlements for homes. This includes working with developers to encourage the sub-division of large sites where this could help to speed up the delivery of homes.
33. Paragraph 105 identified the importance of development being focused within locations which are sustainable, through limiting the need to travel and offering a genuine choice of transport modes. This can help to reduce congestion and emissions and improve air quality and public health.
34. Paragraph 119 is clear that decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. Paragraph 124 goes on to state that "decisions should support development that makes efficient use of land, taking into account: a) the identified need for different types of housing and other forms of development, and the availability of land suitable for accommodating it;"
35. In light of the above, this proposed development supports the overarching aims housing delivery, sustainable transport and the efficient use of land as identified within the framework, and this is afforded great weight in the overall balance.

Affordable Housing:

36. Policy CP5 of the Core Strategy requires all residential proposals of at least 5 dwellings or a net site area of at least 0.16 within development limits has to provide a minimum of 35% affordable housing where viable.
37. The Council's Affordable Housing Supplementary Planning Document (SPD) July 2013 provides further guidance on its approach to securing affordable housing through the planning process. It sets out, subject to viability, the minimum percentages of affordable housing sought on site by land type and location. It also explains that, for the avoidance of doubt, any application for dwellings exceeding the thresholds in Policy CP5, including mobile home sites, will need to deliver affordable housing in line with the Core Strategy.
38. However, this policy and the guidance contained within the SPD pre-dates the publication of the National Planning Policy Framework (NPPF), including latest 2021 version by some time. Paragraph 64 of the Framework requires that the provision of affordable housing should not be sought for residential developments that are not major developments (10 or more dwellings), other than in designated rural areas (where policies may set out a lower threshold of 5 units or fewer).
39. The Planning Practice Guidance (PPG) states specifically that planning obligations for affordable housing should only be sought for residential developments that are major developments. The PPG confirms that the Community Infrastructure Levy (CIL) is the most appropriate mechanism for capturing developer contributions from small developments.
40. The background to this national approach is the Government's desire to incentivise house building in recent years, particularly for smaller sites and local builders. Introduced formally in 2014, this requirement was subject to a number of legal challenges and appeals which meant that it only became set into the PPG in 2016. However, it was still up to the decision maker (the local planning authority) to decide how much weight should be given to the national policy in light of local circumstances. Further updates to the NPPF have reaffirmed the Government's view that contributions should not be collected from developments of less than 10-units. These amendments significantly strengthened the Government's position on affordable housing thresholds, and it is now a material planning consideration the LPA must have due regard to.
41. In addition to the above inconsistency with the Framework, as discussed earlier in this report, the Council is currently only able to demonstrate that it has 3.95 years' supply of deliverable housing land rather than a minimum five-year supply required. Subsequently, Policy CP5 and accompanying guidance is not only inconsistent with the framework and predates it; but is recognised as being out-of-date in accordance with Paragraph 11 of the NPPF, as it sits alongside those other identified policies which are considered most important for determining applications for new housing. The above position has been reinforced via a number of recent appeal decisions on smaller sites whereby it was concluded that although applicable, Policy CP5 carries limited weight, and affordable housing was not sought.
42. It is recognised that in Wokingham Borough the ratio between house prices and earnings is higher than then national average. An assessment undertaken as part of

the evidence base to support the emerging local plan update in 2020 identified a need of 407 affordable dwellings per annum over the period 2018-36.

43. This information has been discussed at several appeals, but because the local plan update remains at a consultative stage, appeal inspectors refer to adopted planning policies set out in the development plan. Considering the changes in national planning policy and recent appeal decisions, the Council remains very vulnerable to challenges when requesting affordable housing on sites providing less than 10 dwellings.
44. Therefore, with due regard to the above conclusions it is considered necessary to only afford the requirements of Policy CP5 limited weight in the overall planning balance. This however does not affect its assessment as the starting point as required by Section 38(6) of The Planning and Compulsory Act 2004.
45. Part of the application site is considered Previously Developed Land -within the settlement limit (on the basis that the NPPF definition of Previously Developed Land excludes "*land in built-up areas such as residential gardens*"). It is noted that the minimum requirements for affordable housing is lower (20%) for previously development land (the part of the site comprising the dwelling itself).The site is approximately 0.27ha and would result in the net gain of approximately 8 dwellings. For a proposal of this scale, 2.8 units (a contribution of 35%) would be required to be secured as affordable in the first instance.
46. No affordable housing is proposed, nor has any viability information been submitted with the application. Therefore, the scheme results in an initial conflict with the requirements of Policy CP5. However, this proposal must also be viewed in terms of its wider contribution to the current affordable housing needs of the borough (407 dwellings per year). The scheme would in effect deliver approximately 0.68% of the total annual affordable housing need and would therefore make a negligible contribution to supply. However, in the context of under-delivery over a number of years, this very limited contribution would still be a benefit, albeit a modest one.
47. Despite there being a significant affordable housing need in the borough, those policies most relevant for delivery of housing, including CP5, are out-of-date in accordance with Paragraph 11 of the NPPF given the housing land supply position. Recent appeal decisions highlight the risk of challenge at appeal should the LPA request affordable housing from sites of this particular size. Finally, the very limited contribution this particular site could make to the needs of the borough must also be recognised in establishing the level of harm caused because of non-compliance. As such it is concluded that the overall harm arising from the in conflict with policy CP5 is very limited.
48. This conflict is reduced further as a consequence of the proposal's wider compliance with the overall spatial objectives of the NPPF in significantly boosting the supply of new homes in such a sustainable location within the borough as identified earlier in the report. The harm caused by the failure to comply with the requirements of CP5 must therefore be carefully considered in the overall planning balance against the wider merits of this scheme.

Garden Development:

49. The Council will resist inappropriate development of residential gardens where development would cause harm to the local area.
50. Policy TB06 of the MDD Local Plan with regard to the development of private residential gardens. Part 2 states that:

Proposals for new residential development that includes land within the curtilage or the former curtilage of private residential gardens will only be granted planning permission where:

- i. The relationship of the existing built form and spaces around buildings within the surrounding area;*
 - ii. A layout which integrates with the surrounding area with regard to the built up coverage of each plot, building line(s), rhythm of plot frontages, parking areas”*
 - iii. Existing pattern of openings and boundary treatments on the site frontage*
 - iv. Providing appropriate hard and soft landscaping, particularly at site boundaries.*
 - v. Compatibility with the general building height within the surrounding area*
 - vi. The materials and elevational detail are of high quality, and where appropriate distinctive and/ or complementary*
51. As all matters are reserved, these aspects will be assessed at reserved matters stage, however the indicative plan indicates a form of development that fits within the context of the surrounding area including the relationship of the built form, plot sizes.

The policy continues to state that:

- b) The application site provides a site of adequate size and dimensions to accommodate the development proposed in terms of the setting and spacing around buildings, amenity space, landscaping and space for access roads and parking*
 - c) The proposal includes access, which meets appropriate highway standards*
 - d) The proposal does not lead to unacceptable tandem development*
 - e) The design and layout minimises exposure of existing private boundaries to public areas and avoids the need for additional physical security measures*
52. The proposed development is considered to be of an adequate size to accommodate 8 additional dwellings and meets appropriate highways standards in terms of the location of the access (the design details of the access are a reserved matter). The proposal does not lead to tandem development; the site fronts the road and the existing dwelling is not being retained. The indicative plans indicate a cul-de-sac layout development which is commonplace in this location.

Character of the Area:

53. Section 12 of the NPPF 'Achieving well-designed places', reinforces the importance of good design in achieving sustainable development, by ensuring the creation of inclusive and high-quality places. Paragraph 130 of the NPPF includes the need for new design to function well and add to the quality of the surrounding area, establish a strong sense of place, and respond to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.
54. The Government's National Design Guide 2019 (NDG) is clear that well-designed places contribute to local distinctiveness. This may include introducing built form and appearance that adds new character and difference to places. Design & Appearance is a reserved matters and cannot be considered at this stage, a contextual analysis is important to understand the prevailing character of the area and consider whether the proposal is able to respond positively to any distinctive features.
55. The site is surrounded by 1970's and 1980's suburban estates, arranged predominantly in cul-de-sacs. As such there is limited residential frontages onto main distributor roads like Rushey Way within the estates. The density of the immediate cul-de-sacs adjoining the application site range from 27-27 dwellings per hectare.
56. The introduction of an additional small cul-de-sac is considered to be in keeping with the existing residential character of this area and is consistent with the predominant form of development in the area. The introduction of residential frontages on Rushey Way is considered a positive aspect of the scheme, with active frontages providing activity, surveillance and interest, thereby contributing to attractive streets and sense of place in accordance with the NDG.
57. The level of development proposed (9 dwellings) is considered modest and at this scale in this location would not represent an overdevelopment of the site. The proposal would result in the net gain of 8 dwellings within the Borough with adequate space retained between dwellings and neighbouring properties as well as adequate gardens and parking provision. The NPPF is clear in its need for decisions promote an effective use of land in meeting the need for homes. It is considered that this proposal would comply with this objective on a site located within an existing urban area.
58. On this basis, the proposed development is realistically considered to be able to achieve a considerate relationship with the existing buildings and will not result in an adverse impact the character and appearance of the area in accordance with CP1, CP3 and the WBC Design Guide.

Design/climate change:

59. Policy CC04 of the MDD Local Plan and the Sustainable Design and Construction SPD require sustainable design and conservation and R21 of the Borough Design Guide SPD requires that new development contribute to environmental sustainability and the mitigation of climate change.

60. Paragraph 153 of the NPPF requires local plans to “*take a proactive approach to mitigating and adapting to climate change...*” which footnote 53 makes clear should be in line with the Climate Change Act 2008 and Paragraphs 157 – 158 deal with individual development and emphasise the importance of energy efficient, low carbon development.
61. It is acknowledged that there may be some environmental benefits to replacing a building in disrepair, however, the energy used to construct a new building can dwarf the energy saved over its useful life. For this reason, it is preferable to adapt existing buildings rather than demolish and replace wherever possible since, even when derelict, a building represents a considerable store of embodied energy. Whilst, no specific design or materials have been proposed or agreed at this stage, 9 new dwellings replacing a single dwelling within the existing housing stock will need to demonstrate an inherent compliance with the most up-to-date energy efficiency stands and building regulations through the reserved matters submission.
62. Any future reserved matters application considering design will be expected to take maximum advantage of sunlight and make use of recycled or sustainable building materials, building insulation, energy efficient and water saving appliances (such as an energy efficient gas powered boiler), photovoltaic panels, compost facilities and cycle storage as well as water butts and soak-aways for rainwater reuse, permeable car parking surfaces and maximisation of soft landscaping for natural infiltration.
63. Overall, there exists a very strong legislative and policy basis for planning decisions to be taken with Climate Emergency considerations at their heart. WBC expects that any new dwelling should meet the requirements set out in the Climate Change Interim Policy Position Statement Wokingham Borough Council (December 2022).

Trees and Landscape:

64. The local area comprises residential development predominantly consisting of cul-de-sacs of properties on relatively modest plots with limited landscaping. The prevailing pattern of development in the area is urban and most boundary treatments comprise fences or walls rather than vegetation or hedgerows. Although there are many protected trees on the site, these are set back within the site and do not contribute to the street scene and the prevailing urban context of the area.
65. Arboricultural Report by Duckworths Arboriculture and dated July 2022 which provides details of the existing tree resource within the site. The indicative plan indicates that three trees are to be removed and replacement trees will be planted.
66. The Trees and Landscape Officer has raised objections to the removal of the trees on the site and considers that the trees shown on to be retained cannot be successfully retained given the proposed development. The WBC Trees Officer makes a number of observations in relation to the TPO trees:
67. T005 – they state that this tree is unlikely to be retained following widening of the access.
68. Given there is an existing access adjacent to the tree which does not appear to be harming it and the access details remain a reserved matter, the design of the widened access cannot be considered. Without details of the widened access the Council

cannot evidence that its alteration will harm this tree. The Applicant's intention is to retain this tree and there is nothing to suggest that this is not feasible or how a widened access would be detrimental to the health of the tree given the existing presence of hardstanding in its RPA.

69. T007 – They state that the location of plot 1 will be located within a significant proportion of the RPA of this tree and will also require its canopy to be raised.
70. There is a minor incursion of dwelling 1 into the RPA. The location of the properties is indicative and dwelling 1 may be in a different location at reserved matters stage.
71. T014, T021 & T024 – of the three trees shown to be retained, only one forms part of G1 of the TPO where there are four protected trees within this group.
72. These trees are located within the garden of Plot 2 and the two silver birch trees to be removed (part of the TPO G1)
73. T026 - It is likely that this tree can be retained as part of the indicative layout.
74. This is not considered to be an objection.
75. T030 - A large significant Silver Birch in the rear garden of the existing dwelling cannot be retained within the current layout. It is not clear why the layout could not be designed around the tree to create a landscape focal point between dwellings
76. Layout is a reserved matter and therefore it may be that the Silver Birch tree will be retained in any reserved matters scheme. It is also noted that this tree is currently within an existing patio and the existing dwelling is within its root protection area.
77. T032 & T044 – Are likely to be retained successfully as part of the proposed layout.
78. This is not considered to be an objection.
79. Beech hedge (G031) – This has been requested to be retained for screening to other dwellings in /out of the site.
80. Landscaping is a reserved matters and it is likely that any future reserved matter scheme will have a boundary treatment to separate the dwellings therefore this is not considered to be a material consideration.
81. Overall, the Trees and Landscape Officer objects to the proposal due to the inability to retain all trees on site; the Applicant has indicated that any trees that are removed will be replaced and this can form a condition of any approval. The NPPF paragraph 131 recognises that trees cannot be retained in every circumstance for all developments. The trees on site are not considered to be veteran trees and therefore not considered to be irreplaceable habitat therefore 180 of the NPPF does not apply in this instance.
82. Whilst some tree removal would be required for the development to proceed, this would be limited in its extent which would result in minimal harm to the urban character and appearance of the site.

Public Open Space:

83. TB08 states that proposal for residential development will need to demonstrate how they meet the standards set out in the policy table.
84. The site is small and cannot physically provide or appropriately accommodate open space, indoor or outdoor play or sport/recreational facilities. The indicative plan indicates a small area of open space between plots 6 and 7 within the site which would contribute to the requirements of TB08 although it has not been formally laid out for any purpose.
85. There are opportunities for recreation and outdoor space in close proximity to the site, with Chalfont Park and facilities less than 200m walk providing high-quality amenity space for the enjoyment of future occupiers. On this basis, it is considered that the scheme affords adequate public open space for occupiers.

Highway Access and Parking Provision:

86. The layout is indicative and access is a reserved matter, meaning that the access could be changed. However, the indicative plan shows that the access would be provided in the same location as existing.
87. The layout also indicates the parking provision for each dwelling which would be provided through driveway spaces and some with integral garages. Conditions for cycle parking, vehicular parking and EVC charging are recommended.
88. The Highways Officer has advised that the indicative access and parking provision is acceptable, however the design details of the access including width, visibility splays, swept path analysis, and the design must be informed by a road safety audit. This should be controlled via conditions.

Neighbouring Amenity:

89. At this stage, the proposal must demonstrate that the amount of development (9 dwellings) can be accommodated without significant impact on residential properties in terms of overlooking, overbearing and ,loss of light.
90. The indicative layout shows the 9 dwellings on the site with some properties fronting Rushey Way and others in a cul-de-sac configuration. The properties are set away from the site boundaries and have adequate garden sizes. Due to their location, orientation and spaces between properties, it is considered that the site could accommodate the number of dwellings proposed without any harmful impact on neighbour amenity.
91. As this is an outline application and scale, layout and appearance are a reserved matters, the detailed assessment of neighbour amenity would need to be assessed at reserved matters stage once the location of windows, and orientation, height and location of properties is confirmed.

Internal Space Standards:

92. The internal space standards for new dwellings are set out in the Borough Design Guide and supported by TB07. As this is an outline application and scale is a reserved matter, the internal space would need to be assessed at reserved matters stage.

External Space Standards:

93. The Borough Design Guide indicates that gardens should have a depth of approximately minimum garden length of 11m provided the space is usable. The indicative site plans shows the indicative locations of gardens.
94. It is noted that Plot 9 garden is only 10m in depth, however the garden of Plot 8 is 24m in depth; on this basis a small reconfiguration of the indicative position of these properties is possible to maintain adequate gardens for both properties.
95. Plots 1 and 6 garden depths are also less than 11m; however, they both have a width of significantly over 11m which allows for further usable space any compensates for any shortfall in depth.
96. Overall, gardens of adequate size can be accommodated within the site and this can be assessed as a reserved matters.

Flooding and Drainage:

97. The site is located in Flood Zone 1 and therefore at low risk of flooding. Policy CC10 of the MDD Local Plan requires sustainable drainage methods and the minimisation of surface water flow.
98. R23 of the Borough Design Guide SPD notes that parking spaces in front gardens must be paved with permeable surfaces to avoid any increase in surface water run-off and should include for soft landscaping. This will be secured at reserved matters stage through the landscape reserved matter.
99. The WBC drainage Officer has requested a Surface water drainage strategy which includes more information to be submitted to allow for the management of flood risk and surface water run off. This will be secured by condition.

Environmental Health:

100. The proposed residential units are set within an established residential area, with multiple properties surrounding the site. There are no external noise sources that would impact on the proposed new dwellings and therefore the conditions proposed in relation to noise are not considered to be reasonable, particularly given this is all matters are reserved and the design and layout of the properties has not yet been determined. A number of conditions are recommended to reduce the impacts of the development during the construction period e.g. hours of working and the submission of a Construction Method Statement.

101. Whilst no records of contamination on or nearby nor landfill sites within close proximity an 'Unexpected Contamination' condition is recommended to account for any unexpected sources of contamination.

Archaeology:

102. TB25 states that where development is likely to affect an area of high archaeological potential or an area which is likely to contain archaeological remains, the presumption is that appropriate measures shall be taken to protect remains by preservation in situ. Where this is not practical, applicants shall provide for excavation, recording and archiving of the remains.
103. The supporting text to this policy states that The Council will consult with Berkshire Archaeology and with developers and their heritage consultants to ensure that the appropriate level of archaeological evaluation and appropriate measures to protect and preserve remains are undertaken.
104. Berkshire Archaeology have advised:
105. This region of Earley has seen very few previous archaeological investigations, as it was predominantly developed prior to regular development led archaeology as part of the planning system. More recently, there have been very few large developments for which an archaeological response would be proportionate.
106. A rare exception was at Crossfield School, c. 700 m west of the site, where an investigation in advance of the construction of an AstroTurf pitch in 2018 discovered Late Bronze Age and Middle Iron Age occupation. To the south of the M4, c. 850 m south of the site, a series of cropmarks are known showing likely Iron Age and Roman rural settlement, and c. 400 m to the southeast a hypothesised line of a Roman road is recorded. C. 1 km northwest Bronze Age and Roman occupation was recorded at Ridgeway Primary School. Thus there is archaeological potential in the wider area, even if little is known nearer to the site, on account of a lack of investigation.
107. In line with both local and national planning policy, I would therefore recommend that a scheme of archaeological works is secured by a condition, should permission be granted, to be undertaken prior to the submission of any reserved matters applications. On this basis a condition is recommended.

Ecology and Biodiversity:

108. All species of bats receive special protection under UK law and it is a criminal offence under the Wildlife and Countryside Act 1981 (as amended) and The Conservation of Habitats and Species Regulations 2017 (The Habitat Regulations), deliberately or recklessly to destroy or damage their roosts, or to disturb, kill or injure them without first having obtained the relevant licence for derogation from the regulations from the Statutory Nature Conservation Organisation (the SNCO - Natural England in England).

109. The licensing process is separate and distinct from planning permission but the Local Planning Authority has statutory obligations under the Habitat Regulations. This means that the Local Planning Authority needs to be satisfied that the proposals are likely to meet the three tests of the Habitat Regulations (see above) and that a licence is likely to be obtained from Natural England before they can issue planning permission [The courts have considered the application of a planning authority's duty under the Habitat Regulations (and therefore the Habitat Directive) in the cases of Woolley vs Cheshire Borough Council (2009) and Morge vs Hampshire County Council (2010). In the Morge vs Hampshire County Council case the supreme court has ruled that it cannot see why planning permission should not be granted unless the proposed development: A) Would be likely to offend the prohibitions in Article 12(1) and B) Would be unlikely to be licensed as a derogation from those provisions.
110. Policy CP7 of the Core Strategy states that sites designated as of importance for nature conservation at an international or national level will be conserved and enhanced and inappropriate development will be resisted.
111. The development is not supported by any ecological survey.
112. The site falls outside of an area considered to be within suitable habitat for bats to be present and roosting in buildings and therefore it unlikely to have an significant impact on this protected species.
113. The site lies within an amber risk area for great Crested Newts and contains a series of small ornamental ponds however, due to the surrounding habitat and barriers to movement for this species, the presence of GCN's is unlikely.
114. WBC records indicate the presence of the hedgehog locally. CP7 and TB23 require the retention of ecological permanently for this species of principal importance and therefore a condition is recommended to secure this.
115. Considering that the site is a mixture of sealed surface and vegetated garden currently, in this instance I think the indicative outline plan does not show a proportionately large change in habitat types. I think it reasonable to accept that a biodiversity net gain could be achieved through appropriate planting and provision of species enhancements such as bird boxes, hedgehog shelters, targeted invertebrate measures, etc. I therefore propose a condition to secure detail of such enhancements at reserved matters stage.

Thames Basin Heaths Special Protection Area:

116. Policy CP8 of the Core Strategy states that development comprising 50 or more dwellings within the 5-7kms linear distance from the TBH will need to be assessed for whether there is likely to be significant impacts. As the proposal comprises fewer than 50 dwellings, this assessment is not required.

Conclusion:

117. The proposal is located within a sustainable location within an existing urban area where the principal of such development is supported. The scheme does however fail to provide an affordable housing contribution (subject to viability) and therefore is in recognised to be in conflict with policy CP5. However, as described above, the

identified inconsistency between CP5 and the NPPF, the current housing land supply position, the overall contribution this particular site would make to identified affordable housing needs, and the council's appeal record of securing such compliance on small sites, means the identified policy conflict is considered limited.

118. The quantum of development, indicative layout and type of dwellings are appropriate in terms of the nature and pattern of development in this particular location. The location of the access is acceptable and design details of the access are a reserved matter.
119. The proposal does involve the loss of a small number of protected trees. The removal of protected trees would be limited in its extent and the Applicant has confirmed that these will be replaced in any reserved matters scheme alongside a comprehensive landscaping scheme alongside biodiversity net gain to enhance the ecological and nature environmental features of the site.
120. Paragraph 11 of the NPPF sets out that achieving sustainable development means that development should satisfy three overarching objectives in relation to economic, social and environmental benefits. The economic role of the NPPF requires proposals to contribute to building a strong, responsive, and competitive economy. The social role requires planning to support strong, vibrant, and healthy communities and states that it should create a high-quality built environment. The environmental role states that the natural built and historic environment should be protected and enhanced and should mitigate and adapt to climate change. It is therefore necessary as part of any forthcoming application for the LPA to consider carefully to what degree this proposal would meet the sustainable development goals of the NPPF in terms of its economic, social and environmental roles.
121. The development would result in a time limited economic benefits brought about through employment opportunities associated with the construction period. In the longer term a net gain of 8 homes in the areas will bring about increased expenditure in the local economy, alongside the contribution towards CIL. The site can reasonably be expected perform a positive economic role.
122. Socially, through the provision of additional homes, the development would contribute, albeit in a limited way, to increasing the borough's overall housing supply. The new homes would also provide the foundation for future community life. As such the redevelopment of this site could reasonably perform a positive social role.
123. With regard to the environmental role, the redevelopment of the site could reasonably be expected to demonstrate a degree of inherent sustainability through compliance with the Council's most up-to-date energy efficiency and Building Regulations standards. Although there will be some loss of trees which are identified as Category C in the Arboricultural Impact Assessment, there would be no actual net tree loss due to the intention to replace any trees lost, Furthermore, the development will bring about a comprehensive landscaping scheme with biodiversity net gain which can be secured at reserved matters stage to enhance the ecological and natural environmental features of the site. The site also makes an efficient use of land within a sustainable location providing options for more active travel a healthier lifestyle for occupants. The development is therefore recognised as being able to perform a positive environmental role.

124. The NPPF is clear that where development does not result in significant harm and is sustainable, it should be supported. The proposal achieves wider compliance with the overall spatial objectives of the NPPF in significantly boosting the supply of new homes in a sustainable location within the borough.
125. In returning to Paragraph 11d of the NPPF and the tempered tilted balancing that must be undertaken, it is considered that the limited harm caused by the conflict with Policy CP5 of the Local Plan through a lack of affordable units and removal of a small number of protected trees is not considered to significantly and adversely outweigh those identified benefits associated with the provision of housing in this location, even when taking into account past over delivery as identified earlier in this report. Officers are therefore recommending the application for approval, subject to the conditions listed.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1

Conditions / informatives or Reasons for refusal

APPROVAL subject to the following conditions and informatives:

1. Outline Permission

a) No development shall commence until details of the access, appearance, landscaping, layout, and scale (hereinafter called "the reserved matters") have been submitted to and approved in writing by the local planning authority and the development shall be carried out as approved.

b) Application for approval of the reserved matters shall be made to the local planning authority not later than three years from the date of this permission.

The development hereby permitted shall begin not later than two years from the date of approval of the last of the reserved matters to be approved.

Reason: In pursuance of s.92 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved Plans

This permission is in respect of the submitted application plans and drawings numbered P001PL01 Issue 006 received by the local planning authority on 18 July 2022. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Archaeology

Prior to the submission of any reserved matters applications and any works on site, except demolition to ground level, the applicant or their agents or successors in title will secure the implementation of a programme of archaeological work (which may comprise more than one phase of works) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the planning authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

Reason: The site lies within an area of unknown archaeological potential. The condition will ensure that any archaeological remains within the site are adequately investigated and recorded in order to advance our understanding of the significance of any buried remains to be lost and in the interest of protecting the archaeological heritage of the Borough.

4. Car and Motorcycle Parking

The reserved matters application for the development shall include details of car and motorcycle parking in accordance with the Council's policies and which are to be approved in writing by the Council. No dwelling shall be occupied until the vehicular accesses, driveways, parking and turning areas to serve it including any visitor and unallocated space have been provided in accordance with the approved

details and the provision shall be retained thereafter. The vehicle parking shall not be used for any other purposes other than parking and the turning spaces shall not be used for any other purposes than turning.

Reason: In the interests of highway safety and convenience in accordance with Wokingham Borough Core Strategy Policies CP1 and CP6, CC07 of the Managing Development Delivery Local Plan (Feb 2014), the Parking Standards Study within the Borough Design Guide 2010.

5. Cycle Parking and Storage

The reserved matters application for the development shall include details of secure and covered bicycle storage/parking facilities serving that dwelling for the occupants of, and visitors to the development. The cycle storage/parking shall be implemented in accordance with the approved details before occupation of the development hereby permitted and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure the development contributes towards achieving a sustainable transport system and to provide parking for cycles in accordance with Wokingham Borough Core Strategy Policies CP1 and CP6, the Parking Standards Study within the Borough Design Guide 2010 and CC07 of the Managing Development Delivery Local Plan.

6. Vehicular Access

Prior to commencement of the development, details of the proposed vehicular access on to Rushey Way to include visibility splays of 2.4m by 43m, swept paths, moving of lamp post and Road Safety Audit Stage 1 shall be submitted to and approved in writing by the local planning authority. The accesses shall be formed as so approved and the visibility splays shall be cleared of any obstruction exceeding 0.6 metres in height prior to the occupation of the development. The access shall be retained in accordance with the approved details and used for no other purpose and the land within the visibility splays shall be maintained clear of any visual obstruction exceeding 0.6 metres in height at all times.

Reason: In the interests of highway safety and convenience in accordance with Core Strategy policies CP3 & CP6

7. Electric Vehicle Parking

Prior to commencement of development, an Electric Vehicle Charging Strategy shall be submitted to, and approved in writing by, the local planning authority. This strategy shall include details relating to onsite electric vehicle charging infrastructure in accordance with Building Control Regulations Approved Document S and details of installation of charging points. The development shall be implemented in accordance with the agreed strategy thereafter.

Reason: In order to ensure that secure electric vehicle charging facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

8. Surface Water Drainage

A Surface Water Drainage Strategy shall be submitted to and approved in writing prior to occupation of the dwellings hereby approved. The Drainage strategy shall include:

1. Calculations indicating the Greenfield runoff rate from the site.
2. BRE 365 test results demonstrating whether infiltration is achievable or not.
3. Use of SuDS following the SuDS hierarchy, preferably infiltration.
4. Full calculations demonstrating the performance of soakaways or capacity of attenuation features to cater for 1 in 100 year flood event with a 40% allowance for climate change and runoff controlled at Greenfield rates, or preferably better.
5. Calculations demonstrating that there will be no flooding of pipes for events up to and including the 1 in 100 year flood event with a 40% allowance for climate change.
6. If connection to an existing surface water sewer is proposed, we need to understand why other methods of the SuDS hierarchy cannot be implemented and see confirmation from the utilities supplier that their system has got capacity and the connection is acceptable.
7. Separate drainage systems for any proposed adopted highways and residential dwellings.

Reason: This is to prevent increased flood risk from surface water run-off. Relevant policy: NPPF (2019) Section 14 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.

9. Construction Environmental Management Plan (CEMP)

No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) loading and unloading of plant and materials,
- iii) storage of plant and materials used in constructing the development,
- iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- v) wheel washing facilities,
- vi) measures to control the emission of dust and dirt during construction,

vii) a scheme for recycling/disposing of waste resulting from demolition and construction works.

*Reason: In the interests of highway safety & convenience and neighbour amenities.
Relevant policy: Core Strategy policies CP3 & CP6.*

10. Tree Protection

No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be topped or lopped other than in accordance with the approved plans and particulars, without the written approval of the local planning authority. If within a period of five years from the date of the planting of any tree that tree, or any tree planted in replacement for it, is removed, uprooted or destroyed or dies, another tree of the same species and size as that originally planted shall be planted at the same place, unless the local planning authority gives its written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

11. Arboricultural Method Statement

- a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
- b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before

development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

12. Contamination

If contamination is found at any time when carrying out the approved development that was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To protect future occupiers and users of the site from the harmful effects of contamination

Informatives:

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF.
2. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

APPENDIX 2

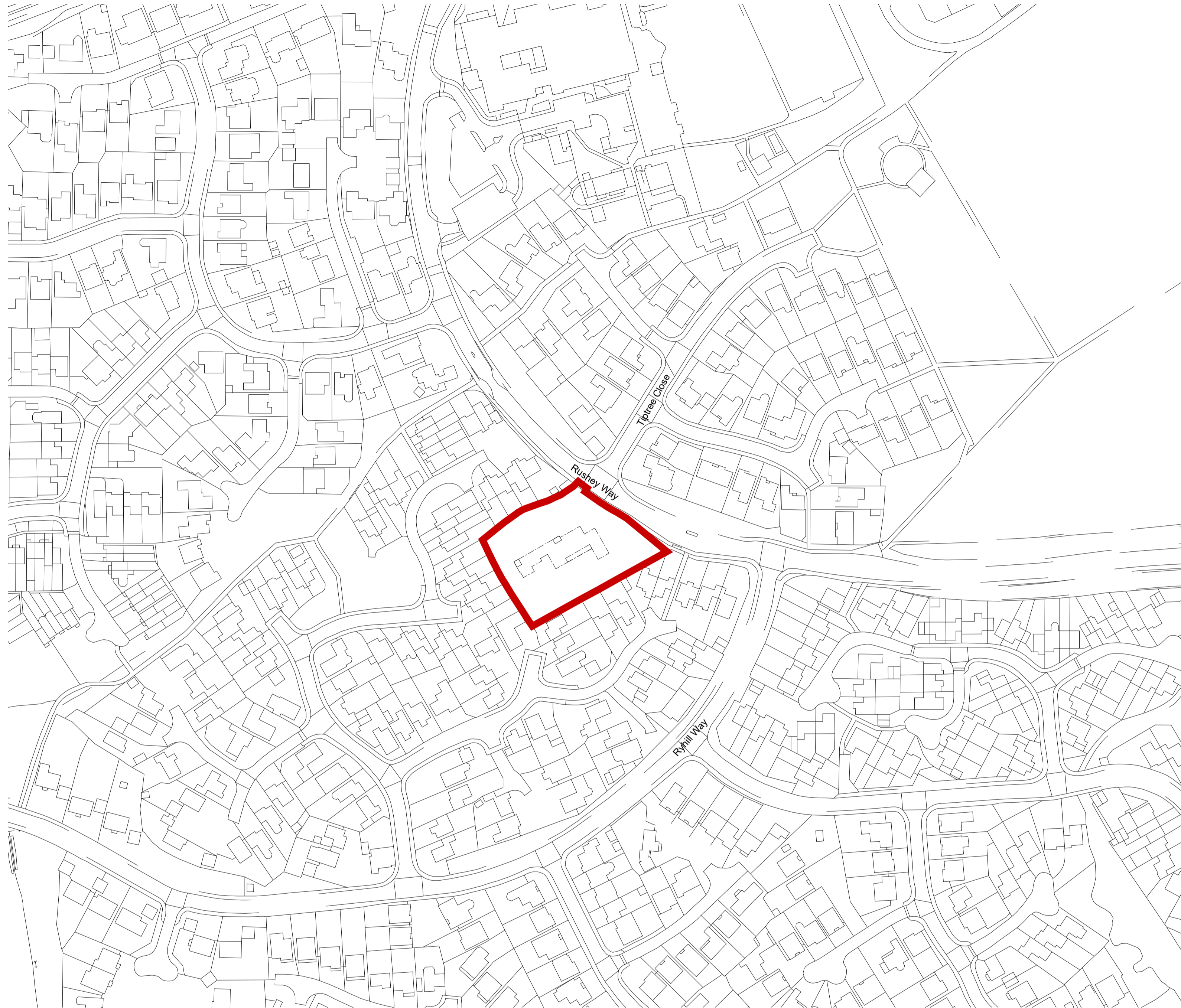
Earley Town Council Comments

PLANNING REF : 221797
PROPERTY ADDRESS : Radstock House
: Radstock Lane, Earley, Wokingham
: RG6 5UL
SUBMITTED BY : Earley Town Council
DATE SUBMITTED : 05/04/2023

COMMENTS:

ETC raises objection to this application and recommends that WBC refuses the application as whilst the layout is "indicative", it is the applicants intention that it shows that 9 dwellings can be satisfactorily accommodated on this site. However, ETC consider that this layout has failed to demonstrate that 9 dwellings can be accommodated satisfactorily, in failing to demonstrate that a suitable and safe access can be achieved, with an existing junction opposite, and no assessment of the viability of the proposed junction in geometric and highway safety terms, and with no transport statement; and that the TPO trees shown fail to show they can be realistically retained, as even set out in the applicants own Arboricultural Report. A resolution of these issues is unlikely without impacting the site capacity significantly, contrary to Policy CP3 and CC03, and Manual for Streets. Also, a failure to demonstrate the protection of wildlife contrary to Policies CP3 and TB21. In addition a failure to adequately carry out pre-application consultation, as described in Paragraphs 33-42 of the NPPF 2021. If WBC are minded to approve this application the following condition is requested: 1 The indicative layout submitted as part of the outline application in no way represents an acceptable form of layout, being in conflict with WBC Policy CP3 and Design Policies R15 and R16, and not demonstrating a suitable and safe access from the highway, contrary to MfS

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Site Location Plan

1:1250
 0m 10m 20m 30m 40m 50m 100m



Block Plan

1:500
 0m 5m 10m 15m 20m 25m 50m

Issue 006	Planning Submisison	17-07-2022	Issue 003	Planning Submisison	09-06-2022
Issue 005	Planning Submisison	11-07-2022	Issue 002	For client comments	24-05-2022
Issue 004	Planning Submisison	24-06-2022	Issue 001	For client comments	17-05-2022

Applicant
Mrs C. Burrows

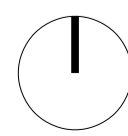
Project Title
Residential Development comprising 10 Dwellings

Address
**Crockers
 Rushey Way, Lower Earley
 RG6 4AS**

Drawing Number
P001 - PL - 01

Drawing Title
Exisiting Site Location and Block Plan

Paper Scale
A1 Varies



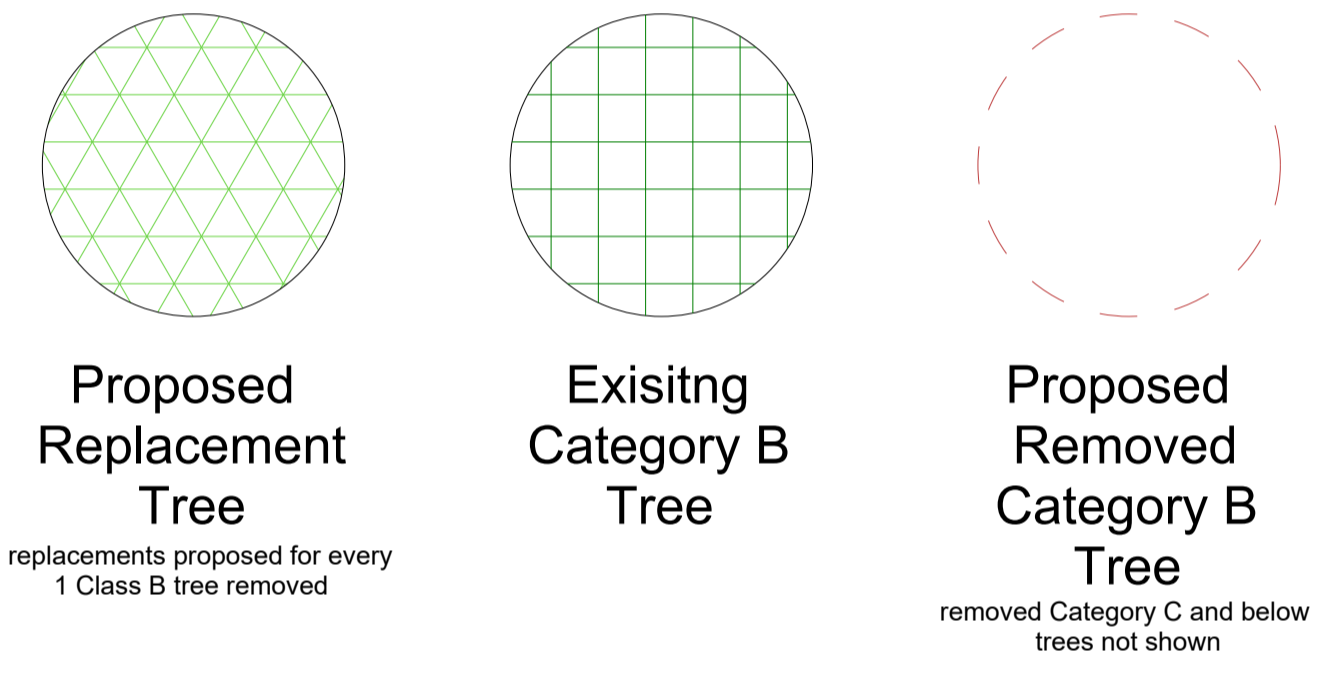
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- Key**
- 1 - Existing access to highway
 - 2 - Turning Head
 - 3 - Private Driveways
 - 4 - Location of existing bus stop

Indicative Accomodation Schedule

Plot	Approx.GIA	Bedrooms	Storeys	Parking
Plot 1	84.1	3	2	3 (1 Integrated)
Plot 2	84.1	3	2	3 (1 Integrated)
Plot 3	75.5	2	2	2
Plot 4	75.5	2	2	2
Plot 5	84.1	3	2	3 (1 Integrated)
Plot 6	72.6	2	2	2 (1 Integrated)
Plot 7	84.1	3	2	3 (1 Integrated)
Plot 8	90.9	3	3	2
Plot 9	90.9	3	3	2



T026 - Class B retained

T014, T021 and T024 - Class B retained

T017, T019 - Class B removed

T007 - Class B retained

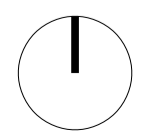
T005 - Class B retained

T044 - Class B retained

T032 - Class B retained

T030 - Class B removed

Proposed Indicative Site Plan
1:200



Issue 007 Planning Submission 07-03-2023

Issue 006 Planning Submission 17-07-2022

Applicant
Mrs C. Burrows

Project Title
Residential Development comprising 9 Dwellings

Address
**Crockers
Rushey Way, Lower Earley
RG6 4AS**

Drawing Number
P001 - PL - 02

Drawing Title
Proposed Indicative Site Plan

Paper Scale
A1 1:200

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Application Number	Expiry Date	Parish	Ward
213610	15/03/2023	Wargrave	Remenham, Wargrave and Ruscombe;

Applicant	C/O Avison, Young, Bristol
Site Address	Hatchgate And Kentons Kentons Lane Upper Culham RG10 8NU
Proposal	Full application for the erection of a 2 storey Estate management buildings including gardeners accommodation and underground tunnel linking the estate buildings and ancillary to the main house on Strowdes estate, following demolition of 3No dwellings, 1No pool house, garages and outhouses, stables and hay barn.
Type	Full
Officer	Stefan Fludger
Reason for determination by committee	Major application

FOR CONSIDERATION BY REPORT PREPARED BY	Planning Committee on Wednesday, 10 May 2023 Assistant Director – Place and Growth
RECOMMENDATION	<p>APPROVAL subject to conditions, informatives and the signing of a S106 agreement, to include:</p> <ul style="list-style-type: none"> • An Integrated Estate Management Plan within the blue line for the combined Strowdes estate incorporating the following provisions: <ul style="list-style-type: none"> ○ Description and evaluation of features to be managed ○ Ecological trends and constraints on site that might influence management. ○ Aims and objectives of management ○ Appropriate management options for achieving aims and objectives ○ Prescriptions for management actions ○ Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period). ○ Ongoing monitoring and remedial measures ○ Improvement works and ongoing maintenance of the two bat barns on site ○ Creation and implementation of the woodland management plan, including: <ul style="list-style-type: none"> ▪ Retain and protect the original parkland woodland in Garden Clump, Pond Clump and Pit Clump ▪ Carry out arboricultural works to prolong the life of the remaining neglected cedar trees in the avenue

- Management works to the clumps and to the Chiltern woodlands to bring them back to health in keeping with the park and Chiltern landscape.
- Provision of barn owl boxes

Details to be Submitted for Approval

- Details of tree planting including full species, name and size
- Details of the proposed meadow grassland, including enhancement to lowland calcareous grassland, including on the chalk slopes including specification, areas and wildflower species, including amalgamation of these areas to create extensive areas of meadow grassland, especially on the steeper slopes.
- Earthworks and level changes including finished heights of the mounds, extent and their formation
- Size, form and profile of Ha-Ha
- Details of new water features including lakes, ponds and water canals, including detail of the lining and ongoing management of Ponds 1 and 2

Agreement that the outbuildings will be used as ancillary to the new dwelling 'Strowdes' – planning ref number 213587.

Secure an employment skills plan.

SUMMARY

This application is before Planning Committee because it constitutes major development which is recommended for approval.

It accompanies an application for a single dwelling within the Park Place Grade II* Registered Park and Garden. Both of the applications under consideration were also approved in identical design, position and layout in 2017.

There has been little change in policy and the application is acceptable.

RELEVANT PLANNING HISTORY

App. no.	Proposal	Decision
O/2008/1353	Outline application for the demolition of 8 dwellings and erection of 5 new dwellings. Change of use of 3 dwellings to form 2 boathouses and guest accommodation. Conversion of 2 dwellings to form 1 dwelling. Alterations	GRANTED 09.12.2008

	to the barns and the bungalow to form a single residential unit plus alterations and extensions to existing buildings.	
RM/2010/1237	Erection of one dwelling (Conway Park House)	GRANTED 04.08.2010
RM/2011/2274	Erection of one dwelling (Bell House)	GRANTED 20.12.2011
153077	Erection of 3no estate buildings to serve as estate management, security offices and stores with associated parking and alterations to access (Hatchgate and Kentons, ancillary to Stowdes) <i>S106 agreement for 173097 revoked this permission</i>	GRANTED 16.12.2016
152499	Erection of 4no single storey staff residential units, together with a machinery shed / parking and associated estate management store / office, at Bell House, ancillary to Stowdes <i>S106 for 173097 subsequently required that this only be occupied by staff employed on site</i>	GRANTED 06.12.2016
160131	Erection of one dwelling (Stowdes) <i>S106 agreement for 173097 revoked this permission</i>	GRANTED 05.07.2016
173097	Erection of one dwelling (Stowdes) <i>S106 required permissions 173098 and 173100 to be ancillary to 173097 and not sold off or disposed of separately to this dwelling</i>	GRANTED 13.04.2018 Permission expired
173098	Erection of gatehouse with associated parking ancillary to Stowdes	GRANTED 13.04.2018 Permission expired
173100	Erection of estate management buildings including gardeners' accommodation and underground tunnel linking the estate buildings, ancillary to the main house on Stowdes estate	GRANTED 13.04.2018 Permission expired
213588	Erection of a gatehouse ancillary to Stowdes	Awaiting determination
213587	Full application for the proposed erection of 1 no. detached dwelling with associated landscaping.	On Ctte agenda for determination

DEVELOPMENT INFORMATION	
Proposed units	None
Proposed density - dwellings/hectare	Associated with 1 house in 80 hectares.
Number of affordable units proposed	None
Previous land use	Parkland
CONSTRAINTS	Green Belt Countryside Grade II* Registered Park and Garden (RPG) Ancient Woodland Veteran Trees

CONSULTATION RESPONSES	
WBC Ecology	No objection subject to conditions and a S106 agreement for an IEMP
WBC Trees and Landscape	No objection subject to conditions and a S106 agreement for an IEMP
WBC Highways	No objection, subject to conditions.
Historic England	No objection on heritage grounds.
Berkshire Gardens Trust	No objection subject to suitable provisions within the S106 for the IEMP.
WBC Employment Skills Plan	No objection, subject to an ESP or ESC secured through a S106.
WBC Built Heritage	No objection, subject to conditions.
Berkshire Archaeology	No objection, subject to condition.
WBC Drainage	No objection.
WBC Environmental Health	No objection.
Thames Water	No objection, subject to the imposition of an Informative

REPRESENTATIONS

Wargrave Parish Council:

Consider the traffic movements along Kentons Lane to be detrimental to highway safety.

Local Members:

No comments received.

Neighbours:

1 comment received regarding the following:

- Kentons Lane is not suitable for increased traffic. It is narrow with lots of blind corners and there have already been accidents.
- The access will be adjacent another neighbouring access and it will not be suitable for any commercial activity and there will be additional noise.
- There is a more suitable entrance further down Kentons Lane.
- There may be an increase in rubbish from the buildings, which might attract vermin.

PLANNING POLICY

National Planning Policy Framework
National Design Guide
National Planning Practice Guidance

Core Strategy (CS)

CP1 – Sustainable Development
CP3 – General Principles for Development
CP6 – Managing Travel Demand
CP7 – Biodiversity
CP9 – Scale and Location of Development Proposals
CP11 – Proposals Outside Development Limits (Inc Countryside)
CP12 – Green Belt

MDD Local Plan (MDDL P)

CC01 – Presumption in Favour of Sustainable Development
CC02 – Development Limits
CC03 – Green Infrastructure, Trees and Landscaping
CC04 – Sustainable Design and Construction
TB01 – Development within the Green Belt
TB21 – Landscape Character
TB22 – Sites of Urban Landscape Value
TB23 – Biodiversity and Development
TB24 – Designated Heritage Assets
TB25 – Archaeology

Other

Borough Design Guide Supplementary Planning Document
CIL Guidance + 123 List
Sustainable Design and Construction Supplementary Planning Document
Wargrave Parish Design Statement

PLANNING ISSUES

Site and Surroundings:

1. The application site measures about 198 acres (80 hectares) in size. It is within the open countryside and within a Grade II* Registered Park and Garden (RPG) listed by Historic England as 'Park Place, and Temple Combe'. It is also within the Metropolitan Green Belt. The northern part of the site is predominantly level; the southern half falls steeply down towards the river, The overall site is bounded by Culham Lane, Kentons Lane, Wargrave Road, the River Thames and, along the western boundary, by other tree-lined Estates within the RPG.

Description of Development:

2. This application accompanies a separate planning application to create a single substantial mansion, the principle of which was established in the Outline permission of 2008 and endorsed in various subsequent permissions. The proposal for which this application relates involves the construction of estate management buildings. Both this and the application for the mansion house are identical to those which were approved in 2018, but have now lapsed.

ASSESSMENT OF THE SCHEME

Principle of Development:

3. The National Planning Policy Framework (NPPF) has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan, the Managing Development Delivery Local Plan (MDDLDP). Policy CC01 of the MDDLDP states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
4. Notwithstanding the locational constraints, the principle of development of a single dwelling in this location has already been established under the overarching masterplan for the site: O/2008/1353. Two Reserved Matters applications were subsequently submitted and approved in 2010 and 2011 for a single dwelling in the location of the current proposal (RM/2010/1237 and RM/2011/2274). These were unimplemented and are no longer extant. Planning permission granted for a single large dwelling at this site under PA ref 160131 had its permission revoked by a S106 agreement under PA ref 173097.
5. Development for new dwellings within the Green Belt is considered to be inappropriate within NPPF policy. Notwithstanding this, development for new dwellings may be acceptable where Very Special Circumstances (VSC) outweigh the material harm caused by the development. In this instance, VSC exist due to the approach agreed within the masterplan for the estate as a whole. It outlined the overall net loss in dwellings and built form across the estate, the removal of unsympathetic buildings and the restoration of the parkland. The removal of buildings was secured under the outline application, ref O/2008/1353.
6. The location of the proposed dwelling has previously been appraised and is in a 'sensitive and exposed position' above the Thames Valley. However, the principle of development has been considered acceptable previously and this remains the case: the specific design, placement and orientation of the building must be assessed in terms of its impact on the character of the area, on the Registered Historic Park and Garden (RPG) and on the Green Belt, as well as whether or not the volume proposed is within the requirements and the spirit of Outline approval O/2008/1353. The outline application agreed the parameters of the volume of proposed development across the site in relation to the volume of the buildings to be demolished. The current applications (213587, 213588 and 213610) are identical to those granted in April 2018 (173097, 173098 and 173100).

Traded Volume:

7. With each of the applications made on the whole of the Park Place Estate (which exceeds the area subject of this application), an indicative table is provided, demonstrating the traded volume of buildings altered or demolished against that of consented and proposed development. This approach was accepted as an appropriate means of restoring the Estate and RPG whilst improving the built form within the Green Belt.

	Cubic Metres
Outline Development Total	52677
Additional land purchase total	12944
Total original volume	65671
Minimum acceptable loss of volume	-9970
Proposed overall volume	40043
Total reduction in volume against agreed loss	-18771

8. Following further purchases of buildings and land enlarging the estate, the total volume of buildings has increased since the original purchase of the estate. However, the built form has been reduced overall through different proposals. The original volume of buildings prior to the restoration of the parkland, Park Place mansion, Hamilton mansion and the structures associated with the polo pitch development in the north of the site was some 65,671 cubic metres of built form (52,677 with the original purchase and a further 12,994 purchased later). The proposed mansion has a proposed volume of 10,800 cubic metres. However, this is still significantly lower than that of the 'pre-development' built form, with the combined total volume of redevelopment over the entire site having a volume of 40,043 cubic metres: some 25,629 cubic metres less than what was once on the site.
9. Overall, the proposed trade-off of volume is considered acceptable and within the spirit of the original project and permission that was granted. Notwithstanding this, the character and appearance of the proposal and its impact on the landscape and all other material planning considerations need to be assessed.

Ancillary buildings: Relationship with Park Place:

10. The outline consent of 2008 accounted for the provision of ancillary buildings in association with the formation of the new dwellings, as prescribed in the decision notice. The proposed estate management buildings would be ancillary to the consented Stowdes mansion and in the location of a series of stable buildings, the planning consent for which has since expired. The established trade-off of the volume of buildings removed through their inappropriate nature and the erection of buildings in support of the approved use has been long-established. Subject to the estate management buildings being permanently ancillary (ensured through a S106), the principle of these ancillary buildings to a residential property is considered acceptable, given that it is within the curtilage of the Stowdes mansion.
11. Notwithstanding the volume issues, the use of estate management buildings would only be acceptable should they be associated with a host dwelling to which the buildings are ancillary. A S106 has been agreed in principle by the applicants which ensures that the estate buildings are not to be sold, leased or disposed of separately

from the dwelling or the site. The proposal therefore ensures that the buildings are ancillary to the main dwelling at Stowdes and can never become independent planning units. The introduction of buildings to help with the running of an estate such as this is common, and the ancillary nature is assured through the legal agreement.

12. Overall, the development would have an acceptable impact on the character of the countryside, the setting of the Green Belt and it would not be out of keeping with the estate as a whole, but instead enhances the individual and special character of the estate as a whole. It is therefore considered acceptable, subject to conditions and the sealing of a S106.

Impact on the Character of the Area:

13. Due to the status of the site as a Registered Park and Garden, the most important considerations in terms of the impact on the character of the area are from Historic England, the Berkshire Gardens Trust, WBC Ecology and WBC Trees and Landscape. These are considered in turn. Historic England Have no objection to this application.

Berkshire Gardens Trust:

14. Their comments are as follows:

At our site visit it was suggested by the Project Manager that he included the current proposals for the staff quarters, tunnel to the river side and development by the river at this stage so that all proposed developments could be looked at together and in context. I heartedly support this. (Officer note: These have not been included).

BGT were not involved in the earlier applications and the proposals for the estate are quite complex so at this stage we are not fully up to date with them or their status in planning terms. We agreed that I would write to highlight BGT's main concerns, although we recognise that they may be overridden by the existing permissions.

Key documents include the IEMP and the LUC Conservation Plan Edition 1, which includes work carried out by Lovejoy on the visual sensitivity of the Green Belt and Park, 2005 which was prepared for Park Place Estates & Aspect Park Ltd is also helpful.

LUC Figure 8 Index of Openness shows the site in three bands of sensitivity to change (levels range from highest at 1 to lowest at 5): the most southerly is in level 2, the central belt above is in level 1 with the northernmost part in level 4, except for the area proposed for the new house which is in level 3. I understand the visibility of the site was considered carefully in 2018 in siting and designing the proposed buildings.

The Key Significance and Objectives from this document of relevance for 'Area 1' Stowdes are:

- *Parts of this area are highly visible from the Thames River valley, and provide excellent views across the open agricultural landscape*

- *Three woodland clumps of mixed native species and several mature specimen parkland trees exist within the agricultural landscape, known as Garden Clump, Pit Clump and Pond Clump. Of these Pond Clump is the oldest, with part of it dating from before the 1815 Estate Plan. These still exist as features of the historic landscape*
- *An avenue of Cedar trees crosses the agricultural landscape. First shown as an avenue on the 1900 OS plan, the alignment originally stretched in an arc from Kenton's Lodge through Pond Clump, into the open field beyond: this avenue remains in part*
- *The agricultural land formed an important buffer between the 18th-century designed landscape and adjoining land uses to the south*
- *Recommends bringing woodland clumps back into active management to ensure future regeneration. Retaining and protecting the woodland in Garden Clump, Pond Clump and Pit Clump*
- *Carrying out arboricultural works to prolong the life of the remaining neglected cedar trees in the avenue. Planting new specified trees in accordance with the 2nd edition O.S.*

The IEMP has similar requirements for Area I:

- *Retain and protect the original parkland woodland in Garden Clump, Pond Clump and Pit Clump*
- *Carry out arboricultural works to prolong the life of the remaining neglected cedar trees in the avenue*
- *Management works to the clumps and to the Chiltern woodlands to bring them back to health in keeping with the park and Chiltern landscape.*

The following are notes on my observations, based on the submissions from the applicant to date, which I hope you will find helpful.

- *The proposed locations for the new house, estate house and gate house fit in with the pattern of development in the Park and I understand has been designed to minimise any visual impact*
- *The current proposals show new woodland planting next to Garden Clump and Pit Clump. The purpose of these areas is not clear but they would result in the loss in the form and pattern of these two clumps, blending them into more amorphous woodland planting.*
- *Placing large houses on the cusp of the hillside, where well designed, is a feature of the Park and gives these properties wonderful views to the SE. These new woodland blocks would narrow the view.*
- *The current scheme does not include proposals to restore the cedar avenue which has lost some of its trees. This did not eventually lead anywhere but the trees follow a shallow ridgeline creating a partial distinctive feature on an intermediate skyline when viewed from the west (and also possibly from the South Oxfordshire side of the Thames).*
- *The open mix of pasture, clumps and perimeter woodland is very visible from the south and Templecombe*
- *The details of the proposed tunnel under the Wargrave Road are of concern – in particular the deep cut needed on the east side and the portals which ideally need to be understated (Case Officer: These have not been included in this application)*

- *The Planning Statement omits any reference to NPPF 16. Conserving and enhancing the historic environment*
- *The Heritage Impact Assessment October 2021 does not include any analysis of the impact of either the built form or the landscape proposals on the heritage of the site or of the significance of its assets*
- *HE has no objection to the proposed development on the grounds that the current proposals would not have a greater impact on the significance of the registered park than the consented ones, and state that while the site (known as Strowdes) forms part of the grade II* registered Park Place Estate it has always been agricultural land rather than part of the landscaped park. The site is therefore of limited significance in itself. The HE entry for Park Place does include 'Areas of open parkland', many containing clumps and specimen trees, are enclosed by belts of trees and woodland and 'The north-east section', incorporated in the C19, has been overlaid by a golf course (late C20), the remainder being a mixture of arable and pasture. However, Strowdes is clearly an important part of the setting of the landscape park, confirmed with the inter-visibility between the Templecombe and Hamilton estates and the typical arable pasture with wooded boundaries setting*
- *References are made to mounding which seems to be to avoid taking material off site as part of the cut and fill for the buildings and tunnel where a considerable amount of material will have to be excavated. Some existing mounding is out of keeping with the gentle chalk slopes so it is important that this artificial landform is not repeated elsewhere.*

My initial thoughts are that the other landscape proposals by Christopher Bradley-Hole for around the buildings, the avenues, the ha-ha, the perimeter woodland planting, the ponds on the northern part, and the lavender field would not result in harm to the historic landscape.

Conclusion:

15. The issues raised by BGT have been addressed with the proposal for an Integrated Estate Management Plan, to be secured through a S106 agreement.

Ecological Matters:

16. The Council's Ecology Officer has responded to consultation on the newly submitted documents. For three reasons, his comments are conveyed in full detail:
1. The application has been held in abeyance awaiting these surveys.
 2. Their subject area is that affected by changes in policy, particularly with reference to paragraphs 174 and 180 of the NPPF, with a clearer expectation that development should contribute to biodiversity net gain and that development that results in significant harm to the environment should be refused.
 3. The content of their comments, about which Members should be aware, as follows:

Further ecological information has been submitted in the form of:

- *An Ecological Addendum Report (ACD Environmental, Ref, PR123977, November 2022),*

- *Survey Condition Sheets in Excel format for a Defra metric 3.1, and*
- *A Defra metric 3.1 calculator referenced for application 213610 dated 5 October 2022.*

Biodiversity Net Gain

The Ecological Addendum Report (EAR) considers the main habitat on-site (within the red line boundary) to be 'other neutral grassland' in poor condition. I think this is a reasonable assessment. Table 5 of the EAR indicates that the development proposal will result in a net gain of biodiversity habitat units on-site but that this will be below a 10% net gain. However, I am not convinced that the on-site grassland habitat enhancement to lowland calcareous grassland in close proximity to the estate management buildings and including an area proposed to be an amphitheatre in the Landscape Masterplan is realistic. Further, I am not convinced that it is appropriate for this area to be set out as enhancement instead of habitat creation because all of this area will be subject to extensive reprofiling.

Considering the above mentioned flaws in the post-development scenario modelled in the calculator, I think it likely that the proposed development will result in a net loss of biodiversity on-site.

It is proposed that an overall biodiversity net gain greater than 10% for this application can be achieved via off-site (but within the blue line) enhancement. Paragraph 3.9 of the EAR proposes to enhance 1.62ha off semi-improved grassland to lowland calcareous grassland. Lowland calcareous grassland is appropriate for the local geology and is a rare habitat of principal importance in Wokingham Borough so its creation/restoration and ongoing sympathetic management would be a significant benefit.

*The area 1.62ha does not tally with the area used in the Defra metric calculator Neither does it tally with the area and location shown in Appendix 7 of the EAR. The location indicated in Appendix 7 of the EAR is sub-optimal for enhancement to lowland calcareous grassland when compared to the Landscape Masterplan because this location is proposed to be planted with a number of trees including the non-native species, *Quercus ilex*.*

Whilst there is some doubt about the suitability and size of the area indicated in Appendix 7, I do accept that it is possible to make such an enhancement of such a scale within the blue line and in accordance with the Landscape Masterplan (in addition to that required for habitat compensation for the main house). Having looked at the units generated in the Defra metric calculator if an enhancement area of 1.62ha is used, I am convinced that a 10% habitat biodiversity net gain could be achieved if 1.62ha of enhancement within the blue line is secured against this development.

The final detail of the grassland enhancement could be resolved through revision and agreement of a detailed Integrated Estate Management Plan (IEMP). I therefore recommend that, if permission is granted, a planning obligation is secured to seek submission and approval of a revised IEMP with this specific enhancement measure as a set objective.

I note that sections 5 and 6 of the EAR provide some proposals for chalk grassland creation/restoration. I am not convinced that the green hay seeding will be sufficient

on its own as a method for restoration as the lower meadows are identified as being in a degraded state. The application of a bespoke seed mix and or planting of wildflower plugs will be needed for successful enhancement. I am of the opinion that the density of plug planting needs to be higher. Paragraph 6.1 indicates a plug planting density of 0.03 plugs per m² whereas I would expect planting to be in the realm of 10-20 times as dense.

The species proposed for wildflower plugs in paragraph 6.2 are appropriate but the list is missing some key species that I think need to be included to meet the target enhancement. I recommend that the following species also need to be included for the introduction (at a minimum for species diversity):

- Agrimony - *Agrimonia eupatoria*
- Eyebright - *Euphrasia nemorosa*
- Horseshoe vetch - *Hippocrepis comosa*
- Common bird's-foot trefoil - *Lotus corniculatus*
- Sainfoin - *Onobrychis viciifolia*
- Marjoram - *Origanum vulgare*
- Salad burnet - *Sanguisorba minor*
- Common thyme - *Thymus polytrichus*
- Dark Mullein - *Verbascum nigrum*

However, I accept that this sort of detail can be resolved through revision and agreement of the IEMP.

Landscape Masterplan

As I understand it, this application does not seek approval of the Landscape Masterplan for the site within the blue line. If the Landscape Masterplan is a matter for approval then I do not recommend approval of the design set out in Drawing No. 051_1101 (dated 18 October 2017) because this seeks to create a new pond in the location of a small parcel of ancient woodland, Pit Clump. On the ecological evidence so far presented, it would be more appropriate to create such a pond in a nearby location but beyond a 15m buffer of this ancient woodland. If there is scope to resolve conflicts such as this one by looking at detailed landscaping through a condition or the IEMP than I would recommend that this would be an appropriate way forward.

The submitted EAR has provided a response on my questions regarding the restored pond near Pond Clump ancient woodland (referred to as Pond 1 in the EAR). The survey conducted by ACD Environmental in August identified more aquatic vegetation than I could see from a visit in the winter months. However, I maintain that the pond liner is showing signs of degradation and I am not convinced that it will be viable for much longer. I accept that some form of liner is required to prevent rapid infiltration of water (as explaining in paragraph 8.6) and I accept that it would be possible for a replacement liner to be installed. I recommend that maintenance of this pond, and 'Pond 2' as identified in paragraph 8.9, should be included as a set objective in the IEMP for this site. My recommendation would be for the replacement liner to be a bentonite clay liner instead of plastic. Not only does this style of liner have a longer lifespan but it also more closely matches the traditional approach of creating a pond in a chalk landscape using puddled clay.

The submitted EAR has provided more information regarding the estate lakes in section 9, perhaps in response to my question as to how they will retain water. Unfortunately, the additional information does not answer the key question of their design, which is still to be determined. Clearly, from the previous section paragraph 8.6, the applicant's ecologist is aware that these lakes will not be viable unless they are lined. It seems strange that this is not a core consideration set out in section 9. Again, I would recommend that the best way for these to be lined is with a bentonite clay lining. It would then be possible to create the profile and substrate variation proposed in section 9 over the top of the liner. I accept that this kind of detail and the ongoing management prescription in line with paragraph 9.8 could be resolved in the IEMP.

Amphibians and Reptiles

Section 10 of the EAR provides a fresh consideration of the potential impact of the development proposal on amphibians and reptiles. Absence of Great Crested Newt or any of the widespread reptile species has not been demonstrated through survey effort. Instead, it has been proposed that the risk to these protected species could be adequately mitigated during construction through reasonable avoidance measures.

I am inclined to agree that this is an acceptable approach. As a detailed mitigation strategy of reasonable avoidance measures is not yet set out, I recommend that a Construction Environmental Management Plan (CEMP) condition is applied to secure detail and implantation of the mitigation measures.

Bats

The EAR reports on further up to date surveys of the Meter House which is proposed for demolition in order to facilitate this development. There is clear evidence of continued use. I am inclined to agree that the evidence of use so far collected indicates that the roost(s) present in the Meter House are of species and character that the demolition could be covered under a Bat Mitigation Class Licence. I can advise that a derogation licence from Natural England is not unlikely to be granted.

On this basis, and following the British Standard 42020:2013, I recommend that a condition is applied that secures the submission of a copy of a Natural England derogation licence (or evidence of registration under the Bat Mitigation Class Licence) prior to commencement of the development.

The EAR has provided an update on the condition of the two bat barns on site. It is somewhat surprising that the applicant has not been given key hand over information for these bat barns as I think they are related to a development licence for the site. However, I accept that the applicant is proposing to do the right thing by recommending work to make the barns more suitable for bats and bring them back up to spec. I recommend that the improvement works set out in paragraph 12.14 and ongoing maintenance of these barns should be a set objective of the revised IEMP for the site.

Barn Owls

ACD Environmental have identified use of the site by Barn Owls and made recommendations to install Barn Owl boxes on site. The site is suitable to support nesting Barn Owls with good quality foraging habitat surrounding.

The Wokingham Biodiversity Action Plan does have a target to see a net increase of Barn Owl box provision across the Borough in order to provide a key feature in the landscape to support this Schedule 1 species. If Barn Owl boxes were to be provided on site as a result of this development then this should be seen as a biodiversity benefit. As the detail of the Barn Owl box provision could be resolved as an item within the IEMP, I recommend that this should be the preferred mechanism to secure this species enhancement.

17. The proposals put forward by the Ecology Officer are satisfactory solutions to the seek to address the additional requirements put forward in the revised NPPF. It is noted that these comments apply to both this application and that for the dwellinghouse and the ecological solutions will need to relate to the site as a whole.

Tree and Landscape Matters:

18. Similarly, the Tree and Landscape Officer requested additional information in the light of local-level changes to published documents, and has responded as follows:

Further information has been submitted to support this application as previously requested in my comments dated 7th February 2022, including:

- *Landscape Visual Appraisal rev 02 (November 2022)*
- *Tree and Woodland Appraisal Report (November 2022)*
- *Revised Tree Protection Scheme rev.02 (17.11.22)*

The Landscape Visual Appraisal considers the information within the revised Wokingham Borough Landscape Character Assessment dated November 2019 and the draft Valued Landscapes Topic Paper dated January 2020. I have no objection to the information submitted within this document and do not disagree with the conclusion.

Tree & Woodland Quality, Survey and Appraisal Report has been provided which identifies the trees and woodlands within the Stowdes Estate as well as a number of recommendations regarding future tree planting and woodland management. I have no objection to the recommendations in this report.

A Revised Tree Protection Scheme by Fulford-Dobson Associates provided high level tree protection for the trees in close proximity to the proposed development, however, we will require more detailed information relating to the tree protection and the proposed estate buildings (this will be requested as part of my comments on 213610).

It has been agreed that the red line of the application will remain as submitted, with the land edged blue indicating the wider parts of the estate. The Landscape

Masterplan submitted includes the whole of the Stowdes Estate which is edged in blue with the residential curtilages of the main house, estate management buildings and gatehouse outlined in red. A landscape condition will be required for the details of the landscape proposals in the curtilage of the dwelling, but also will need to include all areas of the wider site outlined in blue.

It is important that some sort of mechanism is included within any approval for an updated Integrated Estate Management Plan which will need to be reviewed and updated to take account of landscape and ecological changes, and the additional land which is now included in the Stowdes Estate previously outside the IEMP area.

Neighbouring Amenity:

19. There are no neighbours in close proximity to the site that would be impacted by the proposal in terms of privacy, overbearing issues, or loss of light.

Highways:

20. CP6 of the Core Strategy relates to Highway Safety. CC07 of the MDD Local Plan relates to parking provision. It is noted that the parish Council and a local neighbour have raised concerns relating to highway safety on Kentons Lane, which is a narrow lane. The Highways Officer does not share these concerns, provided that acceptable visibility splays can be provided. This can be achieved by condition.

Employment Skills Plan:

21. The proposal meets the threshold to provide an employment skills plan or a financial contribution in lieu. It is recommended that this is required by s106 agreement, as outlined in the recommendation section of this report.

Environmental Health:

22. The Environmental Health Officer has recommended a condition which requires the submission of a Construction Environmental Management Plan. It is considered that this is reasonable and necessary and is acceptable.

Archaeology:

23. Berkshire Archaeology have highlighted that there is potential for archaeological deposits on the site and have recommended a condition requiring approval of a phased scheme of archaeological works. It is considered that this is reasonable and necessary and is acceptable.

Conclusion

24. The proposal is a re-submission of a scheme which was not implemented and the permission subsequently lapsed. Subject to a legal agreement which requires a formal estate management plan to be completed (which in particular relates to heritage, landscape and ecological issues and addresses evolutions in policy requirements since the approval of the first application), the proposal is again acceptable.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions / informatives

APPROVAL subject to the following conditions and informatives:

1. Timescale – The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved Plans – This permission is in respect of the submitted application plans and drawings numbered:

SK903 P1

0001 PL1

0002 PL1

P-F-001-XX-030 REV 00

P-F-007-XX-010 REV 00

P-F-001-XX-008 REV 00

P-F-004-XX-030 REV 00

P-F-004-XX-020 REV 00

P-F-004-XX-040 REV 00

P-F-003-XX-020 REV 00

P-F-004-XX-010 REV 00

P-F-001-XX-020 REV 00

P-F-001-XX-010 REV 00

Surface Water Strategy Sheet 1 – 2170453-EW-00-L00-DR-C-1000 REV P1

Surface Water Strategy Sheet 2 - 2170453-EW-00-L00-DR-C-1001 REV P1

Proposed Landscape Masterplan 051_1101 Dated 18/10/2017t **(APART FROM THE PROPOSED POND IN THE LOCATION OF 'PIT CLUMP', WHICH IS NOT APPROVED)**

The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. No development, including any demolition or ground works, shall take place until the applicant or their agents or successors in title have secured the implementation of a phased scheme of archaeological works (which may comprise more than one phase of works) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the planning authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

Reason: The site lies within an area of archaeological potential. The condition will ensure that any archaeological remains within the site are adequately investigated and recorded in order to advance our understanding of the significance of any buried remains to be lost and in the interest of protecting the archaeological heritage of the

Borough.

4. No development [including demolition and site clearance] shall take place until a Construction Environmental Management Plan (CEMP) to control the environmental effects of the demolition and construction work has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall include measures for:-
- the control of dust, odour and other effluvia - the control of noise (including noise from any piling and permitted working hours) - the control of pests and other vermin (particularly during site clearance) - The control of noise from delivery vehicles, and times when deliveries are accepted and when materials can be removed from the site.
Construction activity shall be carried out in accordance with the approved CEMP.

Reason: In the interests of the amenities of the area.

5. Demolition of the Meter House shall not commence until a licence for development works affecting bats has been obtained from the Statutory Nature Conservation Organisation (Natural England) and a copy (or an email from Natural England that the site has been registered under the bat mitigation class licence) has been submitted to the local planning authority. Thereafter mitigation measures approved in the licence shall be maintained in accordance with the approved details. Should conditions at the site for bats change and / or the applicant conclude that a licence for development works affecting bats is not required the applicant is to submit a report to the council detailing the reasons for this assessment and this report is to be approved in writing by the local planning authority prior to commencement of work.

Reason: To ensure that the proposal is in accordance with ODPM circular 2006/05 guidance on protected species and local plan policies CP7 and TB23 and fulfil duties under Section 17 of the Crime and Disorder Act 199.

6. No development shall take place (including demolition, ground works, vegetation clearance) until a construction environmental management plan (CEMP: Biodiversity) has been submitted to and approved in writing by the local planning authority. The CEMP (Biodiversity) shall include the following:
- a) Risk assessment of potentially damaging construction activities.
 - b) Identification of "biodiversity protection zones".
 - c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).
 - d) The location and timing of sensitive works to avoid harm to biodiversity features.
 - e) The times during construction when specialist ecologists need to be present on site to oversee works.
 - f) Responsible persons and lines of communication.
 - g) The role and responsibilities on site of an ecological clerk of works (ECoW or similarly competent person).
 - h) Use of protective fences, exclusion barriers and warning signs.

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.

Reason: To ensure that the proposal is in accordance with ODPM circular 2006/05 guidance on protected species and local plan policies CP7 and TB23.

7. Protection of Trees –

- a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
- b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence until the local planning authority has been provided (by way of a written notice) with a period of no less than 7 working days to inspect the implementation of the measures identified in the Approved Scheme on-site
- c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

8. Detailed Landscaping - No development shall take place until full details of both hard and soft landscape works (in accordance with the Landscape Masterplan 051_1101) have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. The details shall include, as appropriate
- a) scheme drawings
 - b) proposed levels, contours and mounding including construction of Ha- Ha and amphitheatre
 - c) profiles and construction details of ponds and lakes
 - d) soft landscaping details including planting plans, schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate
 - e) a Landscape Specification document covering soft landscaping (including site preparation, cultivation, plant handling and other operations associated with plant

- and grass establishment) and hard landscaping including all construction works such as paths, bridges and retaining walls
- f) hard landscaping materials including samples
 - g) minor artefacts and structures including specifications for the product and installation.
 - h) all boundary treatments, and other means of enclosure or controlling access such as gates, bollards and vehicle restraint systems, which shall include consideration of ecological permeability
 - i) measures required for ecological mitigation and biodiversity net gain.

Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity.

9. Prior to commencement of the tunnel full details, including section drawings, shall be submitted to and approved in writing by the local planning authority. The tunnel and grassed amphitheatre shall be implemented as approved.

Reason: For the avoidance of doubt, as there is lack of adequate detail on the plans received.

10. Before the development is commenced above slab level, samples and details of the materials to be used in the construction of the external surfaces of the buildings shall have first been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the so-approved details.

Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy Core Strategy Policies CP1 and CP3.

11. Before the development is commenced above slab level, full details of a drainage system for the site shall have been submitted to and approved in writing by the LPA. The details shall include:
 - A maintenance management plan for the SuDS features throughout the lifetime of the development, as well as who will be responsible for the maintenance.
 - Details of the package treatment proposed and confirmation from the EA regarding the environmental permit.

Reason: To prevent increased risk of surface water runoff.

12. Lighting – Prior to their installation, details of a lighting scheme shall be submitted to and approved in writing by the local Planning Authority. The submitted details shall include measures to minimise sky glow and light spillage to neighbouring properties. Such details as may be approved shall be implemented in full before the first use of the development and shall be retained as such thereafter.

Reason: In the interests of the amenities of the area.

13. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

14. No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National holidays,

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy Policies CP1 and C)P3 and managing development delivery Local Plan CC06.

15. Parking to be provided - No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking space has been provided in accordance with the approved plans. The vehicle parking space shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy

APPENDIX 2 - Parish Council Comments

PLANNING REF : 213610
PROPERTY ADDRESS : Council Office
: Pavilion, Recreation Road, Wargrave, Wokingham
: RG10 8BG
SUBMITTED BY : Wargrave Parish Council
DATE SUBMITTED : 14/12/2021

COMMENTS:

Wargrave Parish Council objected to this application.
The proposed entrance and exit point and traffic movements along Kentons Lane are considered to be detrimental to highway safety.
Note: If approved, a condition is requested requiring the submission of a traffic management plan during the construction phase to take into consideration the impact upon the surrounding narrow roads of construction traffic.

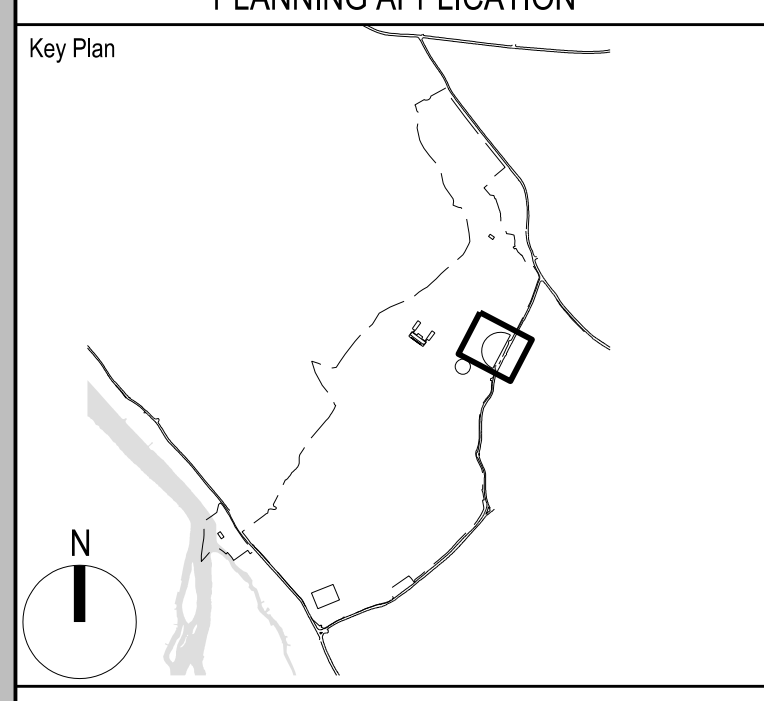
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P-F-003-
XX-010

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 6. Any areas indicated on this sheet are approximate and indicative only.

Rev.	Date	Reason For Issue	Chk
00	03/10/17	Planning application	RB

PLANNING APPLICATION



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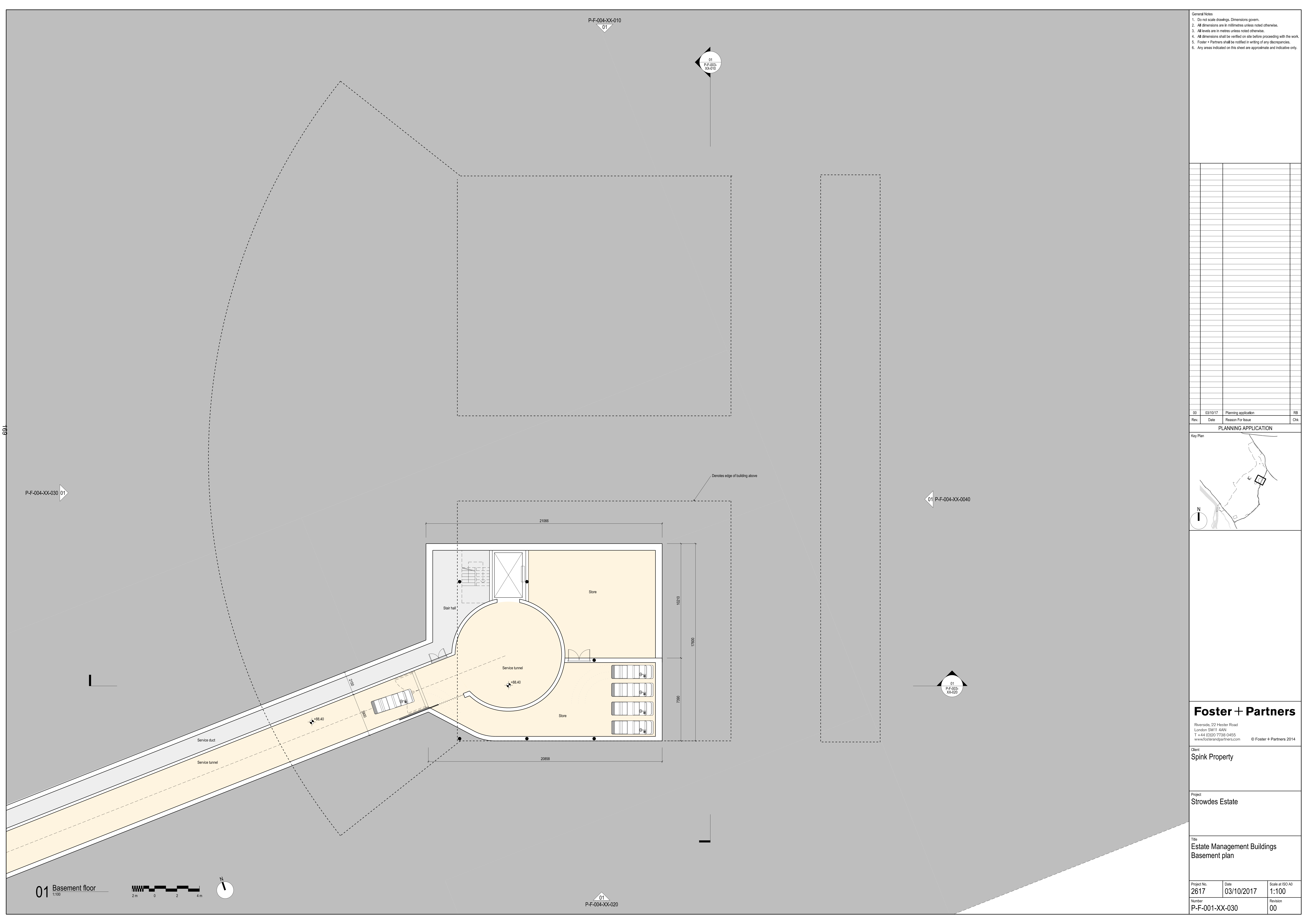
Client
Spink Property

Project
Strowdes Estate

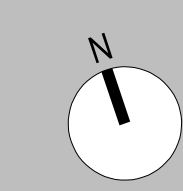
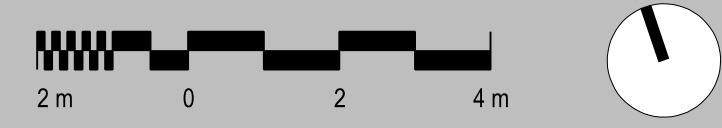
Title
**Estate Management Buildings
Basement plan**

Project No. **2617** Date **03/10/2017** Scale at ISO A0 **1:100**

Number **P-F-001-XX-030** Revision **00**

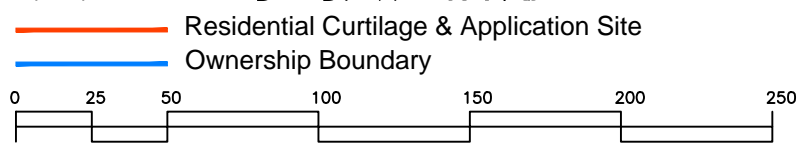
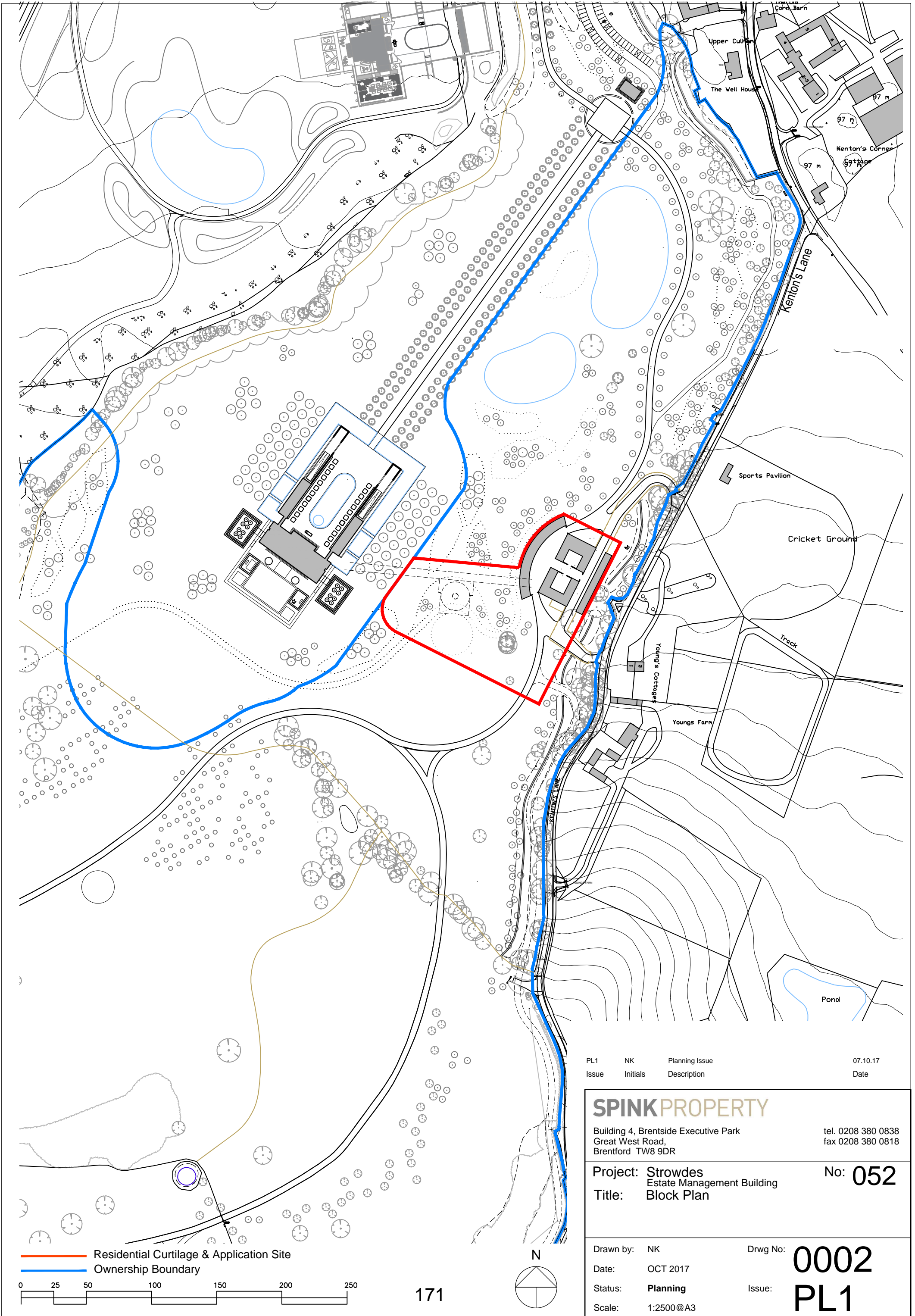


01 Basement floor
1:100



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P-F-004-XX-020

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171

PL1	NK	Planning Issue	07.10.17
Issue	Initials	Description	Date

SPINKPROPERTY

Building 4, Brentside Executive Park
Great West Road,
Brentford TW8 9DR

tel. 0208 380 0838
fax 0208 380 0818

Project: Strowdes Estate Management Building
Title: Block Plan

No: 052

Drawn by: NK
Date: OCT 2017
Status: **Planning**
Scale: 1:2500@A3

Drwg No: **0002**
Issue: **PL1**

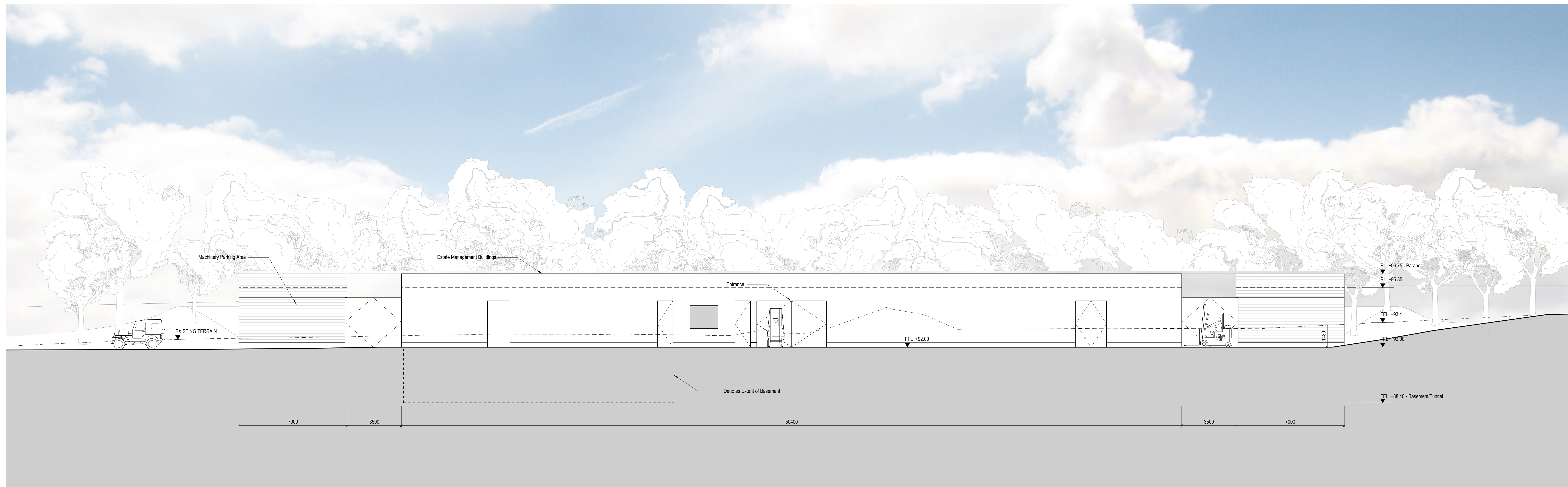
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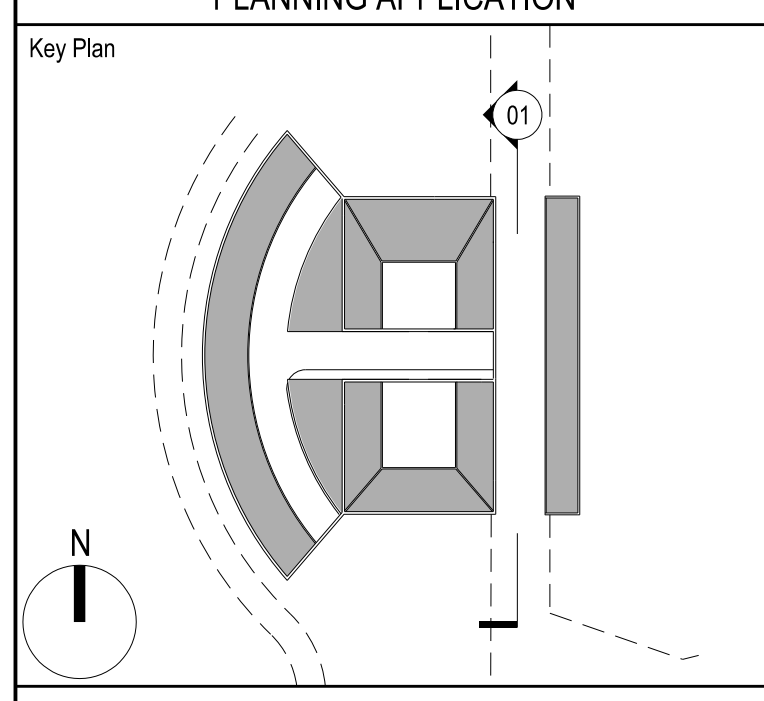
Rev.	Date	Reason For Issue	Chk
00	03/10/17	Planning application	RB

PLANNING APPLICATION

Rev.	Date	Reason For Issue	Chk



01 East Elevation
1:100



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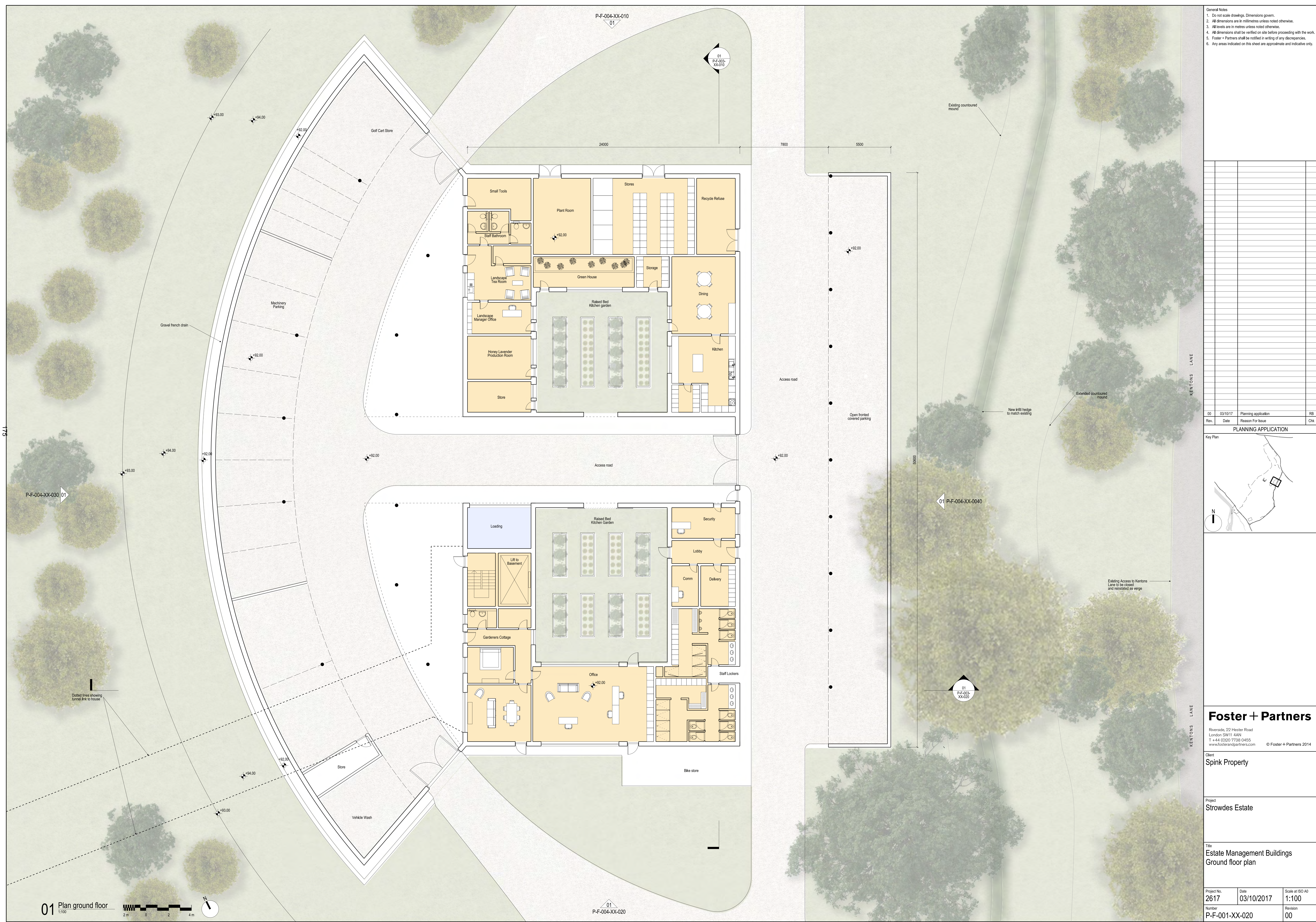
Client
Spink Property

Project
Strowdes Estate

Title
**Estate Management Buildings
East Elevation Inside the Courtyard**

Project No. 2617	Date 03/10/2017	Scale at ISO A0 1:100
Number P-F-004-XX-040	Revision 00	

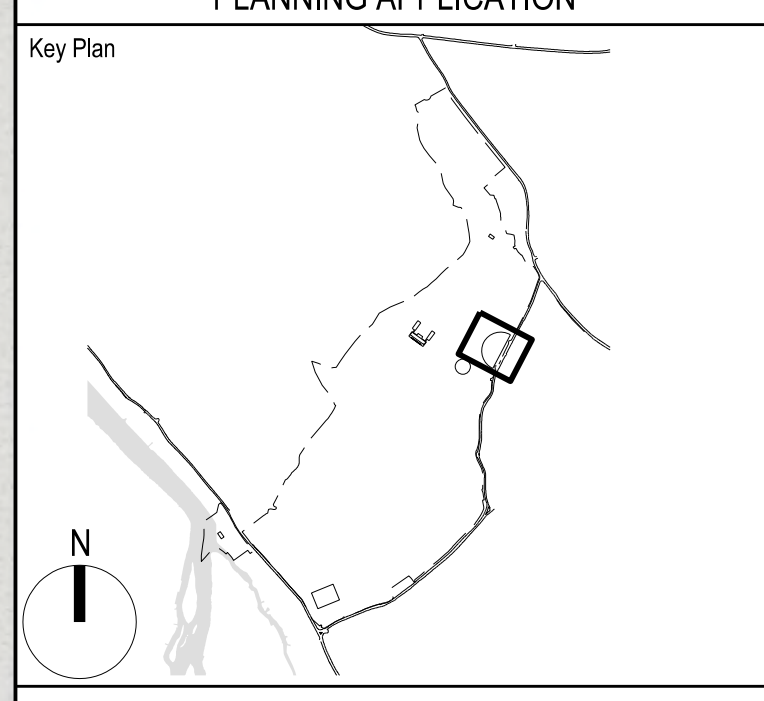
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00	03/10/17	Planning application	RB

PLANNING APPLICATION



Existing Access to Kentons Lane to be closed and reinstated as verge

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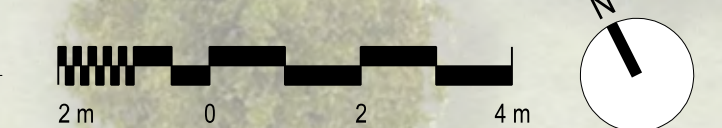
Client
Spink Property

Project
Strowdes Estate

Title
**Estate Management Buildings
 Ground floor plan**

Project No. 2617	Date 03/10/2017	Scale at ISO A0 1:100
Number P-F-001-XX-020	Revision 00	

01 Plan ground floor
 1:100



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 P-F-004-XX-010

175

01 P-F-004-XX-030

Dotted lines showing
 proposed link to house

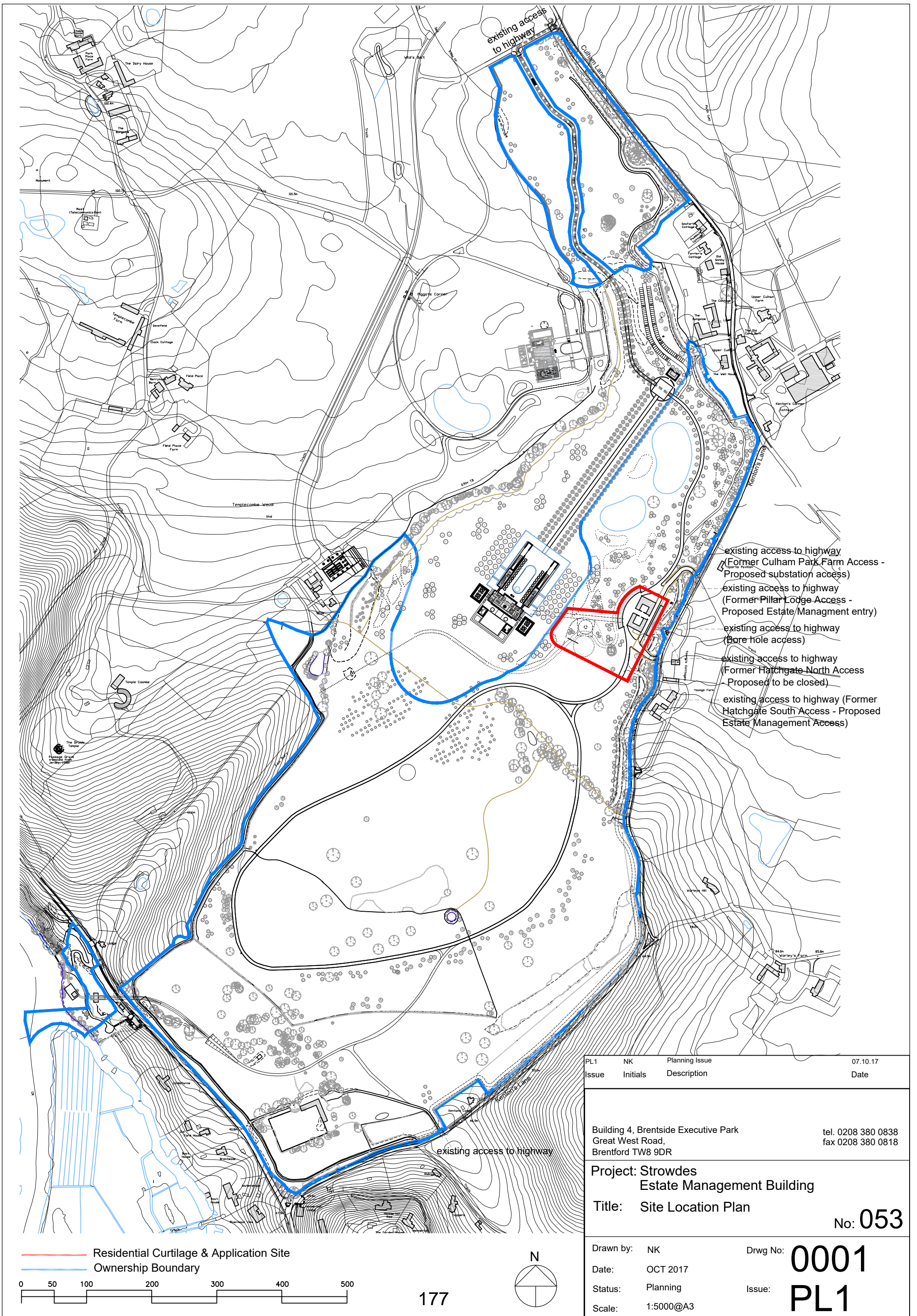
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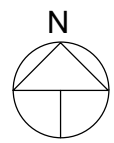
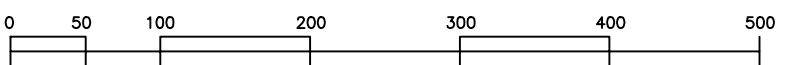
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- existing access to highway (Former Culham Park Farm Access - Proposed substation access)
- existing access to highway (Former Pillar Lodge Access - Proposed Estate/Management entry)
- existing access to highway (Bore hole access)
- existing access to highway (Former Hatchgate North Access - Proposed to be closed)
- existing access to highway (Former Hatchgate South Access - Proposed Estate Management Access)

PL1	NK	Planning Issue	07.10.17
Issue	Initials	Description	Date
Building 4, Brentside Executive Park Great West Road, Brentford TW8 9DR			tel. 0208 380 0838 fax 0208 380 0818
Project: Strowdes Estate Management Building			
Title: Site Location Plan			No: 053
Drawn by:	NK	Drwg No:	0001
Date:	OCT 2017	Status:	Planning
Scale:	1:5000@A3	Issue:	PL1

— Residential Curtilage & Application Site
— Ownership Boundary

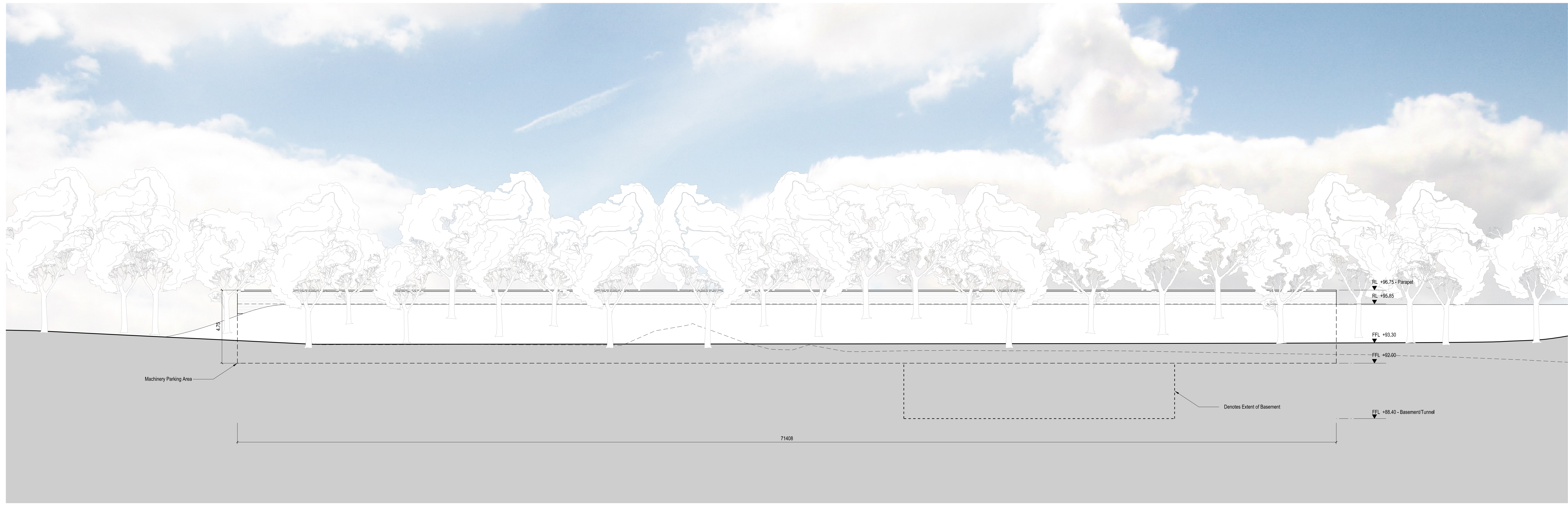
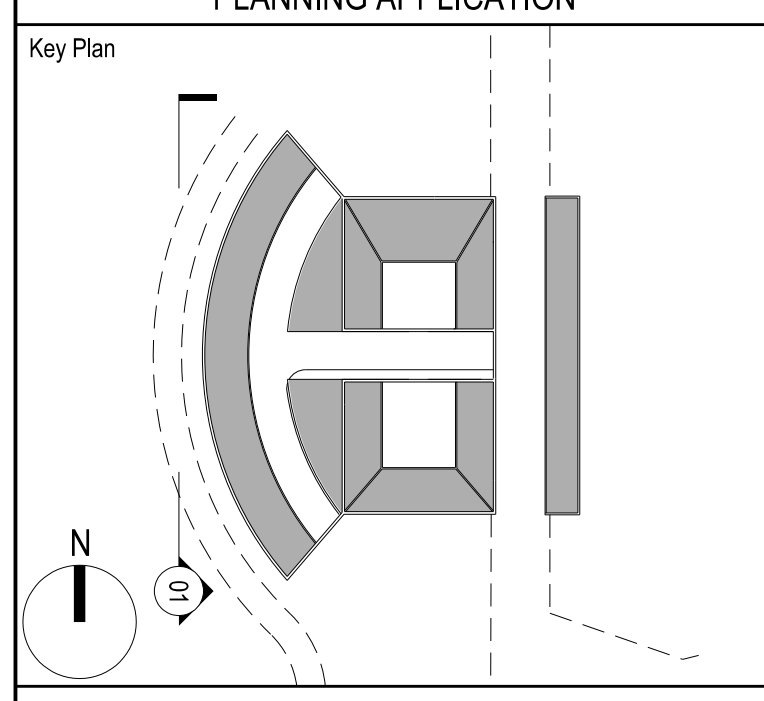


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Rev.	Date	Reason For Issue	Chk
00	03/10/17	Planning application	RB

PLANNING APPLICATION



01 West Elevation
1:100

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Client
Spink Property

Project
Strowdes Estate

Title
**Estate Management Buildings
West Elevation**

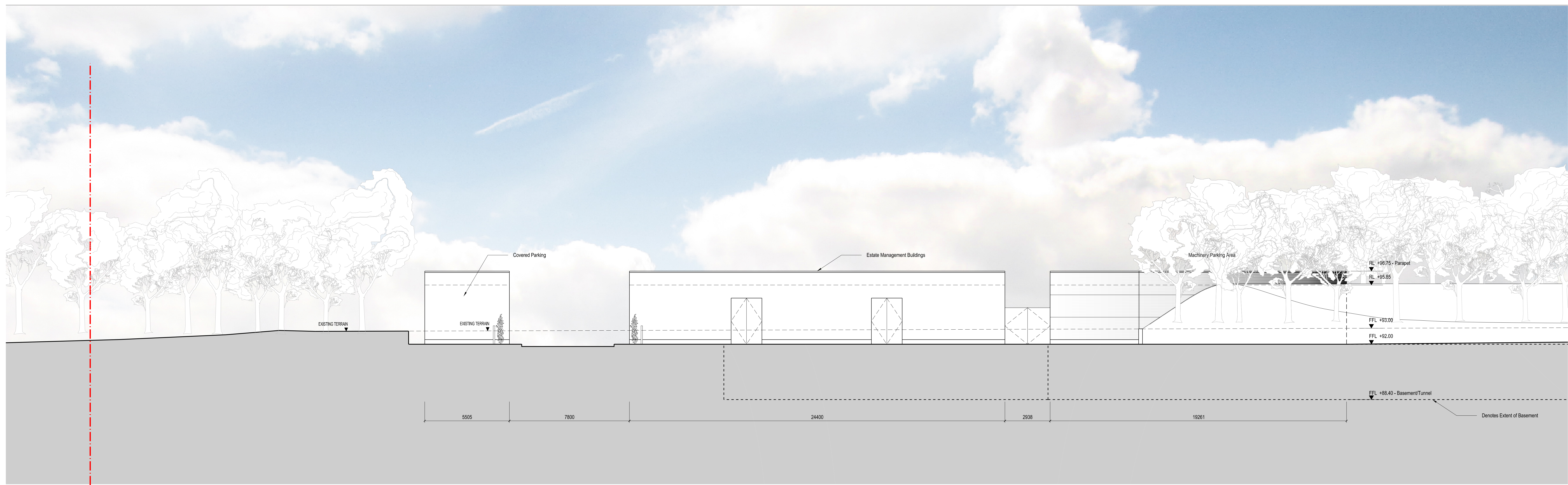
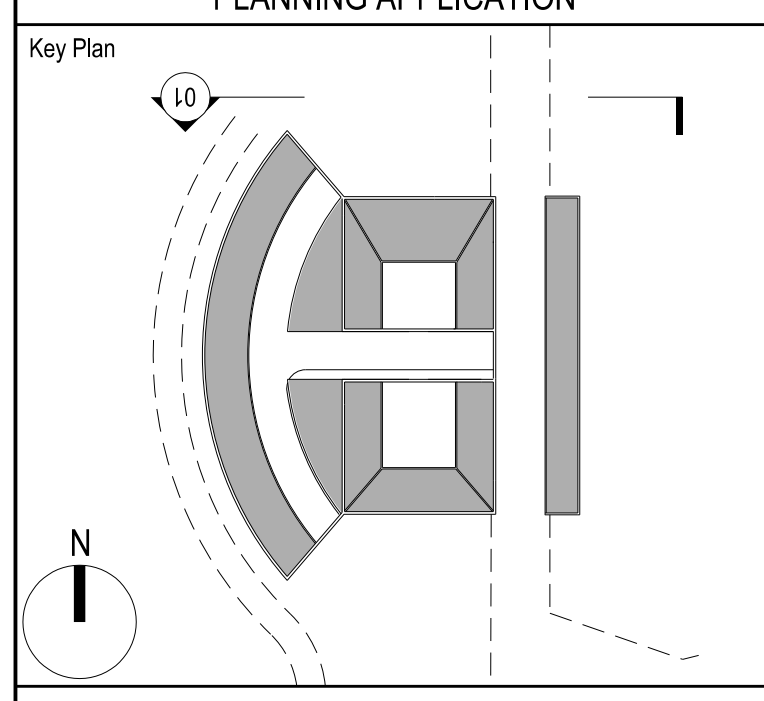
Project No.	Date	Scale at ISO A0
2617	03/10/2017	1:100
Number	Revision	
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Rev.	Date	Reason For Issue	CHK
00	03/10/17	Planning application	RB

PLANNING APPLICATION



01 North Elevation
1:100

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Client
Spink Property

Project
Strowdes Estate

Title
Estate Management Buildings
North Elevation

Project No. 2617 Date 03/10/2017 Scale at ISO A0 1:100

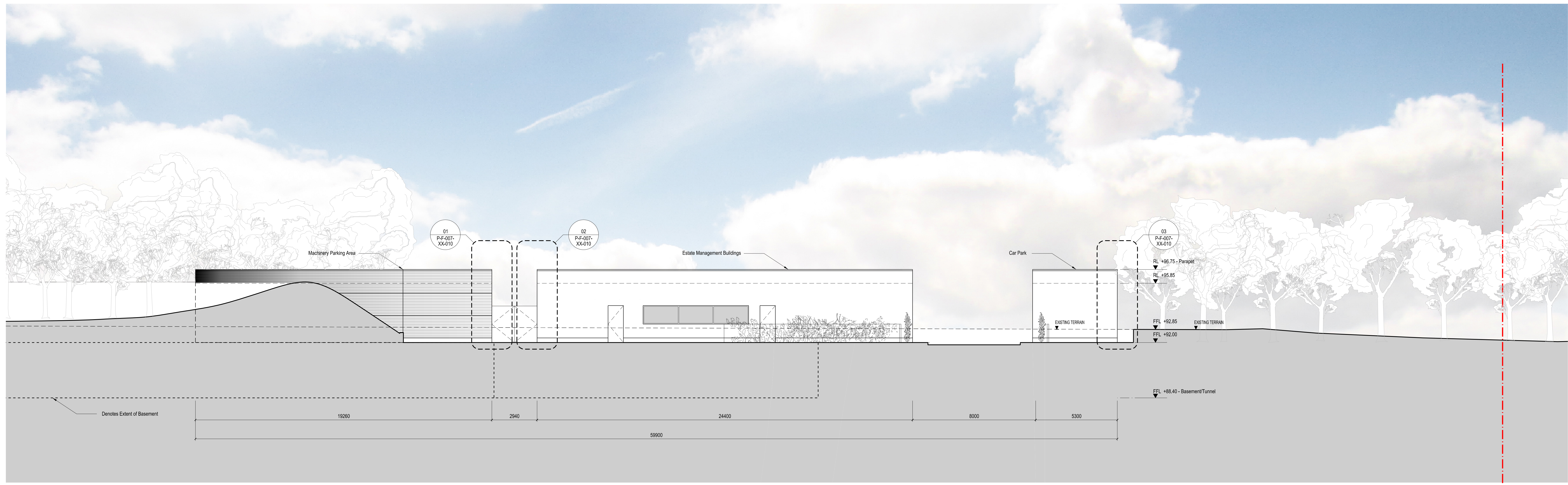
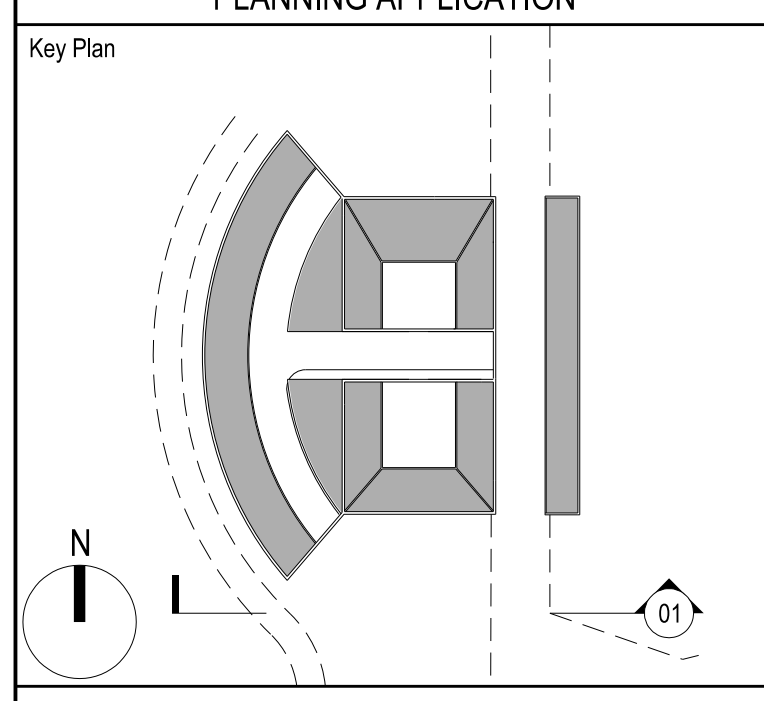
Number P-F-004-XX-010 Revision 00

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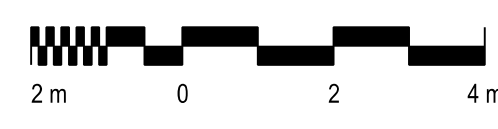
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Rev.	Date	Reason For Issue	Chk
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PLANNING APPLICATION



01 South Elevation
1:100



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Client
Spink Property

Project
Strowdes Estate

Title
Estate Management Buildings
South Elevation

Project No.	Date	Scale at ISO A0
2617	03/10/2017	1:100
Number	Revision	
P-F-004-XX-020	00	

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Agenda Item 118.

Application Number	Expiry Date	Parish	Ward
213587	15/03/2023	Wargrave	Remenham, Wargrave and Ruscombe

Applicant	C/O Avison Young, Bristol
Site Address	Strowdes, Upper Culham Lane, Remenham, RG10 8NU
Proposal	Proposed erection of 1no. detached dwelling with associated landscaping
Type	Full
Officer	Stefan Fludger
Reason for determination by committee	Major application

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 May 2023
REPORT PREPARED BY	Assistant Director – Place and Growth

RECOMMENDATION	<p>APPROVAL subject to conditions, informatives and the signing of a S106 agreement, to include:</p> <ul style="list-style-type: none"> • An Integrated Estate Management Plan within the blue line for the combined Strowdes estate incorporating the following provisions: <ul style="list-style-type: none"> ○ Description and evaluation of features to be managed ○ Ecological trends and constraints on site that might influence management. ○ Aims and objectives of management ○ Appropriate management options for achieving aims and objectives ○ Prescriptions for management actions ○ Preparation of a work schedule (including an annual work plan capable of being rolled forward over a five-year period). ○ Ongoing monitoring and remedial measures ○ Improvement works and ongoing maintenance of the two bat barns on site ○ Creation and implementation of the woodland management plan, including: <ul style="list-style-type: none"> ▪ Retain and protect the original parkland woodland in Garden Clump, Pond Clump and Pit Clump ▪ Carry out arboricultural works to prolong the life of the remaining neglected cedar trees in the avenue ▪ Management works to the clumps and to the Chiltern woodlands to bring them back to health in keeping with the park and Chiltern landscape. ○ Provision of barn owl boxes
-----------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Details to be submitted for approval.

- Details of tree planting including full species, name and size
 - Details of the proposed meadow grassland, including enhancement to lowland calcareous grassland, including on the chalk slopes including specification, areas and wildflower species, including amalgamation of these areas to create extensive areas of meadow grassland, especially on the steeper slopes.
 - Earthworks and level changes including finished heights of the mounds, extent and their formation
 - Size, form and profile of Ha-Ha
 - Details of new water features including lakes, ponds and water canals, including detail of the lining and ongoing management of Ponds 1 and 2
- An Employment Skills Plan (ESP) or Employment Skills Contribution (ESC)

SUMMARY

This application is before Planning Committee because it constitutes major development which is recommended for approval.

It is for a single dwelling within the Park Place Grade II* Registered Park and Garden. It is for a scheme which has not changed in design, position or layout to that which was approved in 2017. For various reasons, a material commencement was not made following the previous permission and, as a result, a new application has had to be submitted. Two connected applications are also under consideration: one, for estate management buildings, at this same Committee and the other, for a gatehouse, under delegated powers. Both were also approved in identical design, position and layout in 2018.

The main change to national policy in the intervening period has been that relating to ecology matters and to local guidance relating to Tree and Landscape matters. Berkshire Gardens Trust were not previously consulted as the representative of The Gardens Trust (who were consulted). As such, the comments of these three consultees have been relayed in full, below.

RELEVANT PLANNING HISTORY

App. no.	Proposal	Decision
O/2008/1353	Outline application for the demolition of 8 dwellings and erection of 5 new dwellings. Change of use of 3 dwellings to form 2 boathouses and guest accommodation. Conversion of 2 dwellings to form 1 dwelling. Alterations to the barns and the bungalow to form a single residential unit plus alterations and extensions to existing buildings.	GRANTED 09.12.2008

RM/2010/1237	Erection of one dwelling (Conway Park House)	GRANTED 04.08.2010
RM/2011/2274	Erection of one dwelling (Bell House)	GRANTED 20.12.2011
153077	Erection of 3no estate buildings to serve as estate management, security offices and stores with associated parking and alterations to access (Hatchgate and Kentons, ancillary to Stowdes) <i>S106 agreement for 173097 revoked this permission</i>	GRANTED 16.12.2016
152499	Erection of 4no single storey staff residential units, together with a machinery shed / parking and associated estate management store / office, at Bell House, ancillary to Stowdes <i>S106 for 173097 subsequently required that this only be occupied by staff employed on site</i>	GRANTED 06.12.2016
160131	Erection of one dwelling (Stowdes) <i>S106 agreement for 173097 revoked this permission</i>	GRANTED 05.07.2016
173097	Erection of one dwelling (Stowdes) <i>S106 required permissions 173098 and 173100 to be ancillary to 173097 and not sold off or disposed of separately to this dwelling</i>	GRANTED 13.04.2018 Permission expired
173098	Erection of gatehouse with associated parking ancillary to Stowdes	GRANTED 13.04.2018 Permission expired
173100	Erection of estate management buildings including gardeners' accommodation and underground tunnel linking the estate buildings, ancillary to the main house on Stowdes estate	GRANTED 13.04.2018 Permission expired
213588	Erection of a gatehouse ancillary to Stowdes	Awaiting determination
213610	Erection of two-storey estate management buildings including gardeners accommodation and underground tunnel linking the estate buildings and ancillary to the main house on Stowdes estate, following demolition of 3No dwellings, 1No pool house, garages and outhouses, stables and hay barn	On Ctte agenda for determination

DEVELOPMENT INFORMATION	
Proposed units	One
Proposed density - dwellings/hectare	1 house in 80 hectares (plus ancillary staff accommodation)
Number of affordable units proposed	None
Previous land use	Parkland
Existing parking spaces	None
Proposed parking spaces	75 spaces at the Gatehouse plus ample provision within the east courtyard of the dwelling
CONSTRAINTS	Green Belt

Countryside
 Grade II* Registered Park and Garden (RPG)
 Ancient Woodland
 Veteran Trees

CONSULTATION RESPONSES

WBC Ecology	No objection subject to conditions and a S106 agreement for an IEMP
WBC Trees and Landscape	No objection subject to conditions and a S106 agreement for an IEMP
WBC Highways	No objection, subject to condition
Historic England	As this is a resubmission of a planning permission granted in 2018 (173097) I attach our previous advice on this proposal for your information. Our advice remains the same. No objection on heritage grounds.
Berkshire Gardens Trust	No objection subject to suitable provisions within the S106 for the IEMP.
WBC Employment Skills Plan	No objection, subject to an ESP or ESC secured through a S106.
WBC Built Heritage	No objection, subject to conditions.
Berkshire Archaeology	No objection, subject to condition.
WBC Drainage	No objection. Location is in flood zone 1 . The submitted location Plan identified the location of soakaway. LLFA also received Surface water strategy which shows connections to geo cellular soakway and catchpit.
WBC Environmental Health	No objection
Thames Water	No objection, subject to the imposition of an Informative

REPRESENTATIONS

Wargrave Parish Council:

No objection. A condition is requested requiring the submission of a traffic management plan during the construction phase, to take into consideration the impact upon the surrounding roads of construction traffic.

Remenham Parish Council:

Happy to leave the matter with the Case Officer but asks that the development and light pollution should not be seen from any public highway.

Wargrave Parish Council: Recommend a traffic management plan for construction.

Local Members: No comments received.

Neighbours: No comments received.

PLANNING POLICY

National Planning Policy Framework**National Design Guide****National Planning Practice Guidance****Core Strategy (CS)**

CP1 – Sustainable Development

CP3 – General Principles for Development

CP6 – Managing Travel Demand

CP7 – Biodiversity

CP9 – Scale and Location of Development Proposals

CP11 – Proposals Outside Development Limits (Inc Countryside)

CP12 – Green Belt

MDD Local Plan (MDDLDP)

CC01 – Presumption in Favour of Sustainable Development

CC02 – Development Limits

CC03 – Green Infrastructure, Trees and Landscaping

CC04 – Sustainable Design and Construction

TB01 – Development within the Green Belt

TB21 – Landscape Character

TB22 – Sites of Urban Landscape Value

TB23 – Biodiversity and Development

TB24 – Designated Heritage Assets

TB25 – Archaeology

Other

Borough Design Guide Supplementary Planning Document

CIL Guidance + 123 List

Sustainable Design and Construction Supplementary Planning Document

Wargrave Parish Design Statement

PLANNING ISSUES

Site and Surroundings:

1. The application site measures about 198 acres (80 hectares) in size. It is within the open countryside and within a Grade II* Registered Park and Garden (RPG) listed by Historic England as 'Park Place, and Temple Combe'. It is also within the Metropolitan Green Belt. The northern part of the site is predominantly level; the southern half falls steeply down towards the river. The overall site is bounded by Culham Lane, Kentons Lane, Wargrave Road, the River Thames and, along the western boundary, by other tree-lined Estates within the RPG.
2. Many of the planning reports and plans submitted with this application are those submitted for the same site under previous reference numbers, where the permissions that were granted have expired without a material commencement. Planning policy at national and local levels has not changed in any manner which affects determination on planning grounds. However, the change to ecology requirements has resulted in a delay in determination, whilst additional surveys were undertaken.
3. The Architectural Statement of October 2017 advises that this area of the estate has, over the last 50 years, variously been used for agriculture (pasture and arable crops), a stud farm, a golf course and various dwellings, together with their gardens. The submission states that the whole had been left to decay. The last ten years (*now fifteen*) has seen a restoration of the Grade II* parkland, the restoration of listed buildings and monuments, the removal of inappropriate uses and associated buildings, the improvement of ecological habitats, and archaeological recording. This process has been partially monitored by Wokingham Borough Council and Historic England, within various parameters agreed by those two organisations and by Natural England and the Environment Agency, and through the adoption of an Integrated Estate Management Plan (IEMP) and Conservation Management Strategy (CMS) for the estate, via a S106.

Description of Development:

4. The proposal is to create a single substantial replacement mansion, the principle of which was established in the Outline permission of 2008 and endorsed in various subsequent permissions. The proposed scheme under this reference number and the proposals for the estate management buildings (ref no 213610) and gatehouse (ref no 213588) are identical to those previously approved under ref nos. 173097, 173098 and 173100.

Background

5. The Design and Access Statement of October 2017 gives the background to the origins of this scheme. Due to the passage of time since the outline approval granted in 2008 and various changes to proposals within the RPG, it is worth relaying:

After consideration and negotiation, it was agreed with Wokingham Borough Council (and the other consultees) and recorded under O/2008/1353 that, inter alia, the following should happen:

- *The Grade II* registered parkland and wildlife habitats should be enhanced and restored as per the amended Conservation Plan (as managed and controlled by an Integrated Environmental Management Plan (IEMP) and Conservation Management Strategy (CMS) mechanism).*

- *The amount of built volume in the Green Belt be reduced (poor quality, modern additions and interventions be removed, and well-conceived new buildings be introduced).*

The other given parameters not to be breached included: an agreed total volume, agreed suitable development plots, agreed number of dwellings and a requirement for an archaeological watching brief.

All of the above parameters have been agreed and implemented over the last nearly 10 years (as written in 2017 / now about 15 years).

One of the outcomes was the consent to replace the “lost mansion” which is the subject of this planning application. The lost mansion was known as Temple Combe House, built in the late 1800s and lost in the 1960s.

When acquired, the whole ownership of 500 acres (220 ha) was known as “Park Place Estate”. Following the successful refurbishment, and sale, of the Park Place mansion and grounds totalling 200 acres (80 ha), the balance (or second phase) become known as Conway Park Estate (after General Conway who virtually rebuilt the estate in the late 18thC).

Two subsequent developments were the sale of Aspect West (now known as Malmesbury, granted permission as a polo field facility) and the development of Hamilton (previously known as Pillar Lodge) which left the substantial balance of the estate (now known as Strowdes) with a proposal to development it as one large estate.

This notion follows both the original concept of “an estate within an estate” which dates back to the late 19thC, and the various recent planning consents on this area of the park, which combine to form an estate comprising a main house and ancillary accommodation.

This proposed replacement mansion has until recently been known as “Conway” but is now to be known as “Strowdes” (after Richard de la Strowde and his family who first created the estate in the mid 13thC and continued to live there for some 200 years).

6. For completeness of understanding of ongoing development in the RPG, it is relevant to add that this summary from the agent omits one main geographical area of the RPG which was not included in the acquisition of the 500 acres (220 hectares) and so was not included in the agreements made under O/2008/1353. It comprises the final part of the Grade II* ‘Park Place, and Temple Combe’ Historic England listing. That part of the site includes a modest house known as Templecombe, for which an application for a new dwelling to replace the existing was approved by Planning Committee in January 2023 (ref no 223108), subject to the signing of a S106 agreement relating to the drawing up and implementation of a Conservation

Management Strategy on the site (a revised term for the IEMP, as preferred by The Gardens Trust, a statutory consultee). Templecombe was built in about 1964 as a direct replacement for Charles Easton's 'lost' mansion known as Temple Combe House, demolished c. 1963. The outcome is that there are, effectively, two dwellings which are replacements for the 'estate within an estate': one approved in January 2023 called Templecombe and the other approved in 2017 called Stowdes, with the principal of a dwelling within the Stowdes Estate having been agreed in the outline permission of 2008.

7. Also, additional land within the RPG has been purchased and incorporated into the former Park Place Estate since the original 2008 permission was granted.

Ancillary Development

8. Two small parts of the Stowdes Estate are outside of the RPG, but immediately adjoin it. They are within the same ownership and enclosed by the same public highways. Both have had approval for development ancillary to this main house, secured either through a S106 agreement or condition. They are:
 - Bell House, located in the very southern corner of the estate, where Wargrave Road meets Kentons Lane, accessed from Kentons Lane. This received planning permission in December 2016 for staff accommodation ancillary to Stowdes under PA ref 152499, and
 - Hatchgate and Kentons, located on the east side of the Estate and accessed from Kentons Lane. This received planning permission in April 2018 for estate management buildings and a gardener's cottage under PA ref 173100.

The 2017 S106 and condition ensured that the work at each could not be commenced until the main dwelling was substantially complete. As such, work has not commenced on either scheme.

The Design Concept

9. The submitted Architectural Statement considers that the design concept has been driven by the characteristics of the Grade II* RPG and the desire to create a single dwelling at its heart with smaller ancillary buildings along the perimeter of the site (those submitted under ref nos 213588 and 213610, the latter being determined under delegated powers). It states that the design shall not dominate the estate but rather create a harmonic balance between architecture and its surrounding landscape. It describes the design as a composition of simple rectangular volumes: a 3-storey central block with front and back portico and two single-storey side wings that will frame the arrival courtyard, located at the end of a tree-lined access road.
10. It also states that the proposed dwelling subject of this application would be effectively concealed from view due to the combination of sunken roads at Wargrave Road and Kentons Lane, mature hedges, trees around the boundaries of the site and the steeply sloping site on its southern half. It will stand at the end of a long avenue of trees, interpretive of the 18th and 19th century carriage driveways which intersect the Estate. Access to the main house will be from Culham Lane which has now been implemented, is a shared access with 'Hamilton', and was the original main entrance to Aspect Park Golf Club car park and clubhouse.

11. The driveway linking the entrance to the proposed new house essentially follows existing driveways.
12. The dwelling is described by the Design and Access Statement as mostly two-storey above ground, with a hidden basement and a smaller set back top floor comprising the master bedroom suite. Facades would be predominantly stone-clad in natural pale-coloured stone, with windows and doors framed using stone and metal reveal profiles. The roof is proposed to be flat and concealed behind parapets.
13. The proposal is physically larger, but the overall built volume is less than previously agreed in 2008 and 2016. It is described as being in the tradition of a historic Palladian country house but a pared down, modernist interpretation rather than a pastiche. The proposal envisages the use of very high-quality materials and workmanship. By building Strowdes, a substantial replacement house in this location, the pre-eminence of this site and its important position within the larger Estate can be re-established. The layout is designed to maximise long views out of the property whilst preserving privacy.

The Landscaping Concept

14. Landscaping is described as including a grazed parkland towards the entrance, an enhanced existing formal parkland with established specimen trees, and an area of private garden around the perimeter of the house, including a formal garden surrounded by formal canals drawn tightly around the house.
15. The Design and Access Statement of October 2017 stated the following:

The influences of the landscape garden movement of the 18th century have created the parkland gardens, which extend right up to the house. The main grounds will be an enhanced and restored parkland: an area picking up the themes of the late 17th century (small field patterns with hedges) and 18th century pastures, to include an area of deer park.

Established hedges and woodland provide the site with privacy and seclusion. This will be considerably reinforced by further planting using semi mature native species planted in formal avenues, running roughly north / south either side of the house.

The landscaping approach proposed will continue the restricted palette of materials used to date: the types of fencing, the construction and forms of tracks, paths, driveways etc will reinforce the main Park Place Estate style and coherent feel already agreed and now established in previous phases.

The proposed replacement mansion would reconnect with, and give new relevance to, the restored and enhanced building groups at the riverside, and at the former Culham Park farm (gatehouse); Hatchgate / Kentons (Estate Management Buildings); and Bell House (staff accommodation).

Ecological Matters

16. The Summary to the 2021 Ecological Update advises that the IEMP sets out the management actions for woodland, grassland, other wildlife habitats, equine activities and the protection of features of archaeological and cultural heritage interest, including listed buildings and structures. The CMS elaborates on the IEMP. All aspects of the IEMP and CMS have been fulfilled, apart from annual Conservation Liaison Management Group (CMLG) meetings, which were required as part of the S106 agreement. This has been the case across the RPG: WBC's records indicate that annual CMLG meetings have only occurred in 2013, 2014 and 2017.

ASSESSMENT OF THE SCHEME

Principle of Development:

17. The National Planning Policy Framework (NPPF) has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan, the Managing Development Delivery Local Plan (MDDLDP). Policy CC01 of the MDDLDP states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
18. Notwithstanding the locational constraints, the principle of development of a single dwelling in this location has already been established under the overarching masterplan for the site: O/2008/1353. Two Reserved Matters applications were subsequently submitted and approved in 2010 and 2011 for a single dwelling in the location of the current proposal (RM/2010/1237 and RM/2011/2274). These were unimplemented and are no longer extant. Planning permission granted for a single large dwelling at this site under PA ref 160131 had its permission revoked by a S106 agreement under PA ref 173097.
19. Development for new dwellings within the Green Belt is considered to be inappropriate within NPPF policy. Notwithstanding this, development for new dwellings may be acceptable where Very Special Circumstances (VSC) outweigh the material harm caused by the development. In this instance, VSC exist due to the approach agreed within the masterplan for the estate as a whole. It outlined the overall net loss in dwellings and built form across the estate, the removal of unsympathetic buildings and the restoration of the parkland. The removal of buildings was secured under the outline application, ref O/2008/1353.
20. The location of the proposed dwelling has previously been appraised and is considered to be in a 'sensitive and exposed position' above the Thames Valley. However, the principle of development has been considered acceptable previously and this remains the case: the specific design, placement and orientation of the building must be assessed in terms of its impact on the character of the area, on the Registered Historic Park and Garden (RPG) and on the Green Belt, as well as whether or not the volume proposed is within the requirements and the spirit of Outline approval O/2008/1353. The outline application agreed the parameters of the volume of proposed development across the site in relation to the volume of the buildings to be demolished. The current applications (213587, 213588 and 213610) are identical to those granted in April 2018 (173097, 173098 and 173100).

Traded Volume:

21. With each of the applications made on the whole of the Park Place Estate (which exceeds the area subject of this application), an indicative table is provided, demonstrating the traded volume of buildings altered or demolished against that of consented and proposed development. This approach was accepted as an appropriate means of restoring the Estate and RPG whilst improving the built form within the Green Belt.

	Cubic Metres
Outline Development Total	52677
Additional land purchase total	12944
Total original volume	65671
Minimum acceptable loss of volume	-9970
Proposed overall volume	40043
Total reduction in volume against agreed loss	-18771

22. Following further purchases of buildings and land enlarging the estate, the total volume of buildings has increased since the original purchase of the estate. However, the built form has been reduced overall through different proposals. The original volume of buildings prior to the restoration of the parkland, Park Place mansion, Hamilton mansion and the structures associated with the polo pitch development in the north of the site was some 65,671 cubic metres of built form (52,677 with the original purchase and a further 12,994 purchased later). The proposed mansion has a proposed volume of 10,800 cubic metres. However, this is still significantly lower than that of the 'pre-development' built form, with the combined total volume of redevelopment over the entire site having a volume of 40,043 cubic metres: some 25,629 cubic metres less than what was once on the site.
23. Overall, the proposed trade-off of volume is considered acceptable and within the spirit of the original project and permission that was granted. Notwithstanding this, the character and appearance of the proposal and its impact on the landscape and all other material planning considerations need to be assessed.

Ancillary buildings: Relationship with Park Place:

24. The outline consent of 2008 accounted for the provision of ancillary buildings in association with the formation of the new dwellings, as prescribed in the decision notice. The proposed estate management buildings would be ancillary to the consented Stowdes mansion and in the location of a series of stable buildings, the planning consent for which has since expired. The established trade-off of the volume of buildings removed through their inappropriate nature and the erection of buildings in support of the approved use has been long-established. Subject to the estate management buildings being permanently ancillary (ensured through a S106), the principle of these ancillary buildings to a residential property is considered acceptable, given that it is within the curtilage of the Stowdes mansion.
25. Notwithstanding the volume issues, the use of estate management buildings would only be acceptable should they be associated with a host dwelling to which the buildings are ancillary. A S106 has been agreed in principle by the applicants which ensures that the estate buildings are not to be sold, leased or disposed of separately

from the dwelling or the site. The proposal therefore ensures that the buildings are ancillary to the main dwelling at Stowdes and can never become independent planning units. The introduction of buildings to help with the running of an estate such as this is common, and the ancillary nature is assured through the legal agreement.

26. Overall, the development would have an acceptable impact on the character of the countryside, the setting of the Green Belt and it would not be out of keeping with the estate as a whole, but instead enhances the individual and special character of the estate as a whole. It is therefore considered acceptable, subject to conditions and the sealing of a S106.

Impact on the Character of the Area:

27. Due to the status of the site as a Registered Park and Garden, the most important considerations in terms of the impact on the character of the area are from, the Berkshire Gardens Trust, WBC Ecology and WBC Trees and Landscape. These are considered in turn. Historic England have no objection to the proposal.

Berkshire Gardens Trust:

28. *At our site visit it was suggested by the Project Manager that he included the current proposals for the staff quarters, tunnel to the river side and development by the river at this stage so that all proposed developments could be looked at together and in context. I heartedly support this. (Officer note: These have not been included).*

BGT were not involved in the earlier applications and the proposals for the estate are quite complex so at this stage we are not fully up to date with them or their status in planning terms. We agreed that I would write to highlight BGT's main concerns, although we recognise that they may be overridden by the existing permissions.

Key documents include the IEMP and the LUC Conservation Plan Edition 1, which includes work carried out by Lovejoy on the visual sensitivity of the Green Belt and Park, 2005 which was prepared for Park Place Estates & Aspect Park Ltd is also helpful.

LUC Figure 8 Index of Openness shows the site in three bands of sensitivity to change (levels range from highest at 1 to lowest at 5): the most southerly is in level 2, the central belt above is in level 1 with the northernmost part in level 4, except for the area proposed for the new house which is in level 3. I understand the visibility of the site was considered carefully in 2018 in siting and designing the proposed buildings.

The Key Significance and Objectives from this document of relevance for 'Area 1' Stowdes are:

- Parts of this area are highly visible from the Thames River valley, and provide excellent views across the open agricultural landscape*
- Three woodland clumps of mixed native species and several mature specimen parkland trees exist within the agricultural landscape, known as Garden Clump, Pit Clump and Pond Clump. Of these Pond Clump is the oldest, with*

part of it dating from before the 1815 Estate Plan. These still exist as features of the historic landscape

- *An avenue of Cedar trees crosses the agricultural landscape. First shown as an avenue on the 1900 OS plan, the alignment originally stretched in an arc from Kenton's Lodge through Pond Clump, into the open field beyond: this avenue remains in part*
- *The agricultural land formed an important buffer between the 18th-century designed landscape and adjoining land uses to the south*
- *Recommends bringing woodland clumps back into active management to ensure future regeneration. Retaining and protecting the woodland in Garden Clump, Pond Clump and Pit Clump*
- *Carrying out arboricultural works to prolong the life of the remaining neglected cedar trees in the avenue. Planting new specified trees in accordance with the 2nd edition O.S.*

The IEMP has similar requirements for Area I:

- *Retain and protect the original parkland woodland in Garden Clump, Pond Clump and Pit Clump*
- *Carry out arboricultural works to prolong the life of the remaining neglected cedar trees in the avenue*
- *Management works to the clumps and to the Chiltern woodlands to bring them back to health in keeping with the park and Chiltern landscape.*

The following are notes on my observations, based on the submissions from the applicant to date, which I hope you will find helpful.

- *The proposed locations for the new house, estate house and gate house fit in with the pattern of development in the Park and I understand has been designed to minimise any visual impact*
- *The current proposals show new woodland planting next to Garden Clump and Pit Clump. The purpose of these areas is not clear but they would result in the loss in the form and pattern of these two clumps, blending them into more amorphous woodland planting.*
- *Placing large houses on the cusp of the hillside, where well designed, is a feature of the Park and gives these properties wonderful views to the SE. These new woodland blocks would narrow the view.*
- *The current scheme does not include proposals to restore the cedar avenue which has lost some of its trees. This did not eventually lead anywhere but the trees follow a shallow ridgeline creating a partial distinctive feature on an intermediate skyline when viewed from the west (and also possibly from the South Oxfordshire side of the Thames).*
- *The open mix of pasture, clumps and perimeter woodland is very visible from the south and Templecombe*
- *The details of the proposed tunnel under the Wargrave Road are of concern – in particular the deep cut needed on the east side and the portals which ideally need to be understated (Case Officer: These have not been included in this application)*
- *The Planning Statement omits any reference to NPPF 16. Conserving and enhancing the historic environment*

- *The Heritage Impact Assessment October 2021 does not include any analysis of the impact of either the built form or the landscape proposals on the heritage of the site or of the significance of its assets*
- *HE has no objection to the proposed development on the grounds that the current proposals would not have a greater impact on the significance of the registered park than the consented ones, and state that while the site (known as Strowdes) forms part of the grade II* registered Park Place Estate it has always been agricultural land rather than part of the landscaped park. The site is therefore of limited significance in itself. The HE entry for Park Place does include 'Areas of open parkland', many containing clumps and specimen trees, are enclosed by belts of trees and woodland and 'The north-east section', incorporated in the C19, has been overlaid by a golf course (late C20), the remainder being a mixture of arable and pasture. However, Strowdes is clearly an important part of the setting of the landscape park, confirmed with the inter-visibility between the Templecombe and Hamilton estates and the typical arable pasture with wooded boundaries setting*
- *References are made to mounding which seems to be to avoid taking material off site as part of the cut and fill for the buildings and tunnel where a considerable amount of material will have to be excavated. Some existing mounding is out of keeping with the gentle chalk slopes so it is important that this artificial landform is not repeated elsewhere.*

My initial thoughts are that the other landscape proposals by Christopher Bradley-Hole for around the buildings, the avenues, the ha-ha, the perimeter woodland planting, the ponds on the northern part, and the lavender field would not result in harm to the historic landscape.

Conclusion:

29. The issues raised by BGT have been addressed with the proposal for an Integrated Estate Management Plan, to be secured through a S106 agreement.

Ecological Matters:

30. The Council's Ecology Officer has responded to consultation on the newly submitted documents. For three reasons, his comments are conveyed in full detail:
- The application has been held in abeyance awaiting these surveys
 - His subject area is that affected by changes in policy, particularly with reference to paragraphs 174 and 180 of the NPPF, with a clearer expectation that development should contribute to biodiversity net gain and that development that results in significant harm to the environment should be refused
 - The content of his comments, about which Members should be aware, as follows:

Further ecological information has been submitted in the form of:

- *An Ecological Addendum Report (ACD Environmental, Ref, PR123977, November 2022),*
- *Survey Condition Sheets in Excel format for a Defra metric 3.1, and*
- *A Defra metric 3.1 calculator referenced for application 213610 dated 5 October 2022.*

It appears as if the wrong Defra metric calculator has been uploaded for this application. It is possible to glean a fair bit of information on biodiversity net gain from the Ecological Addendum Report and Survey Condition Sheets but for completeness I recommend that the correct calculator is uploaded to the application file.

Biodiversity Net Gain

The Ecological Addendum Report (EAR) considers the main habitat on-site (within the red line boundary) to be 'other neutral grassland' in poor condition. I think this is a reasonable assessment. Table 4 of the EAR indicates that the development proposal will result in a net loss of biodiversity habitat units on-site.

It is proposed that an overall biodiversity net gain for this application can be achieved via off-site (but within the blue line) enhancement. Paragraph 3.7 of the EAR proposes to enhance 1.68ha off semi-improved grassland to lowland calcareous grassland. Lowland calcareous grassland is appropriate for the local geology and is a rare habitat of principal importance in Wokingham Borough so its creation/restoration and ongoing sympathetic management would be a significant benefit.

*The area 1.68ha does not tally with the area and location shown in Appendix 5 of the EAR. The location indicated in Appendix 5 of the EAR is sub-optimal for enhancement to lowland calcareous grassland when compared to the Landscape Masterplan because this location is proposed to be planted with a number of trees including the non-native species, *Quercus ilex*.*

Whilst there is some doubt about the suitability and size of the area indicated in Appendix 5, I do accept that it is possible to make such an enhancement of such a scale within the blue line and in accordance with the Landscape Masterplan. The final detail of the grassland enhancement could be resolved through revision and agreement of a detailed Integrated Estate Management Plan (IEMP). I therefore recommend that, if permission is granted, a planning obligation is secured to seek submission and approval of a revised IEMP with this specific enhancement measure as a set objective.

I note that sections 5 and 6 of the EAR provide some proposals for chalk grassland creation/restoration. I am not convinced that the green hay seeding will be sufficient on its own as a method for restoration as the lower meadows are identified as being in a degraded state. The application of a bespoke seed mix and or planting of wildflower plugs will be needed for successful enhancement. I am of the opinion that the density of plug planting needs to be higher. Paragraph 6.1 indicates a plug planting density of 0.03 plugs per m² whereas I would expect planting to be in the realm of 10-20 times as dense.

The species proposed for wildflower plugs in paragraph 6.2 are appropriate but the list is missing some key species that I think need to be included to meet the target enhancement. I recommend that the following species also need to be included for the introduction (at a minimum for species diversity):

- Agrimony - *Agrimonia eupatoria**
- Eyebright - *Euphrasia nemorosa**
- Horseshoe vetch - *Hippocrepis comosa**
- Common bird's-foot trefoil - *Lotus corniculatus**

- *Sainfoin - Onobrychis viciifolia*
- *Marjoram - Origanum vulgare*
- *Salad burnet - Sanguisorba minor*
- *Common thyme - Thymus polytrichus*
- *Dark Mullein - Verbascum nigrum*

However, I accept that this sort of detail can be resolved through revision and agreement of the IEMP.

Landscape Masterplan

As I understand it, this application does not seek approval of the Landscape Masterplan for the site within the blue line. If the Landscape Masterplan is a matter for approval then I do not recommend approval of the design set out in Drawing No. 051_1101 (dated 18 October 2017) because this seeks to create a new pond in the location of a small parcel of ancient woodland, Pit Clump. On the ecological evidence so far presented, it would be more appropriate to create such a pond in a nearby location but beyond a 15m buffer of this ancient woodland.

The submitted EAR has provided a response on my questions regarding the restored pond near Pond Clump ancient woodland (referred to as Pond 1 in the EAR). The survey conducted by ACD Environmental in August identified more aquatic vegetation than I could see from a visit in the winter months. However, I maintain that the pond liner is showing signs of degradation and I am not convinced that it will be viable for much longer. I accept that some form of liner is required to prevent rapid infiltration of water (as explained in paragraph 8.6) and I accept that it would be possible for a replacement liner to be installed. I recommend that maintenance of this pond, and 'Pond 2' as identified in paragraph 8.9, should be included as a set objective in the IEMP for this site. My recommendation would be for the replacement liner to be a bentonite clay liner instead of plastic. Not only does this style of liner have a longer lifespan but it also more closely matches the traditional approach of creating a pond in a chalk landscape using puddled clay.

The submitted EAR has provided more information regarding the estate lakes in section 9, perhaps in response to my question as to how they will retain water. Unfortunately, the additional information does not answer the key question of their design, which is still to be determined. Clearly, from the previous section paragraph 8.6, the applicant's ecologist is aware that these lakes will not be viable unless they are lined. It seems strange that this is not a core consideration set out in section 9. Again, I would recommend that the best way for these to be lined is with a bentonite clay lining. It would then be possible to create the profile and substrate variation proposed in section 9 over the top of the liner. I accept that this kind of detail and the ongoing management prescription in line with paragraph 9.8 could be resolved in the IEMP.

Amphibians and Reptiles

Section 10 of the EAR provides a fresh consideration of the potential impact of the development proposal on amphibians and reptiles. Absence of Great Crested Newt or any of the widespread reptile species has not been demonstrated through survey effort. Instead, it has been proposed that the risk to these protected species could be adequately mitigated during construction through reasonable avoidance measures.

I am inclined to agree that this is an acceptable approach. As a detailed mitigation strategy of reasonable avoidance measures is not yet set out, I recommend that a Construction Environmental Management Plan (CEMP) condition is applied to secure detail and implantation of the mitigation measures.

Bats

The EAR has provided an update on the condition of the two bat barns on site. It is somewhat surprising that the applicant has not been given key hand over Information for these bat barns as I think they are related to a development licence for the site. However, I accept that the applicant is proposing to do the right thing by recommending work to make the barns more suitable for bats and bring them back up to spec. I recommend that the improvement works set out in paragraph 12.14 and ongoing maintenance of these barns should be a set objective of the revised IEMP for the site.

Barn Owls

ACD Environmental have identified use of the site by Barn Owls and made recommendations to install Barn Owl boxes on site. The site is suitable to support nesting Barn Owls with good quality foraging habitat surrounding. The Wokingham Biodiversity Action Plan does have a target to see a net increase of Barn Owl box provision across the Borough in order to provide a key feature in the landscape to support this Schedule 1 species. If Barn Owl boxes were to be provided on site as a result of this development then this should be seen as a biodiversity benefit. As the detail of the Barn Owl box provision could be resolved as an item within the IEMP, I recommend that this should be the preferred mechanism to secure this species enhancement.

Other

Additional information has been provided in the submissions and Ecology Officer's response in relation to other protected species sensitive to persecution, but this has been redacted from public view.

The proposed condition relates to Construction Environmental Management Plans (Biodiversity) and the Ecology Officer's recommendations for the revised IEMP would be included in the proposed S106 agreement.

Conclusion

The proposals put forward by the Ecology Officer are satisfactory solutions to the seek to address the additional requirements put forward in the revised NPPF.

Tree and Landscape Matters:

Similarly, the Tree and Landscape Officer requested additional information in the light of local-level changes to published documents, and has responded as follows:

Further information has been submitted to support this application as previously requested in my comments dated 7th February 2022, including:

- *Landscape Visual Appraisal rev 02 (November 2022)*
- *Tree and Woodland Appraisal Report (November 2022)*
- *Revised Tree Protection Scheme rev.02 (17.11.22)*

The Landscape Visual Appraisal considers the information within the revised Wokingham Borough Landscape Character Assessment dated November 2019 and the draft Valued Landscapes Topic Paper dated January 2020. I have no objection to the information submitted within this document and do not disagree with the conclusion.

Tree & Woodland Quality, Survey and Appraisal Report has been provided which identifies the trees and woodlands within the Stowdes Estate as well as a number of recommendations regarding future tree planting and woodland management. I have no objection to the recommendations in this report.

A Revised Tree Protection Scheme by Fulford-Dobson Associates provided high level tree protection for the trees in close proximity to the proposed development, however, we will require more detailed information relating to the tree protection and the proposed estate buildings (this will be requested as part of my comments on 213610).

It has been agreed that the red line of the application will remain as submitted, with the land edged blue indicating the wider parts of the estate. The Landscape Masterplan submitted includes the whole of the Stowdes Estate which is edged in blue with the residential curtilages of the main house, estate management buildings and gatehouse outlined in red. A landscape condition will be required for the details of the landscape proposals in the curtilage of the dwelling, but also will need to include all areas of the wider site outlined in blue.

With regards to land edged in blue, there appears to be a discrepancy between the wider Stowdes estate as shown on the Landscape Masterplan drawing and the location plan showing the area edged in blue for this application and the gatehouse, which only show the access to the house and gatehouse edged in blue. The land either on side of the access road on the location plan drawing does not appear to be within the applicant's ownership or in the ownership of the associated company. Please can this be clarified by the applicant. See extracts from drawings as a comparison below.



The following additional landscape details will be required either through a landscape condition or S106 agreement:

- Details of tree planting including full species name and size.
- Details of the proposed meadow grassland on the chalk slopes including specification and areas. It is suggested that some consideration should be given to the amalgamation of these areas to create extensive areas of this meadow grassland especially on the steeper slopes. This would not only simplify management proposals but also assist the requirement for Biodiversity Net Gain within the site.
 - Earthworks and level changes including finished heights of the mounds, extent and their formation.
 - Size, form and profile of Ha-Ha.
 - Details of new water features including lakes, ponds and water canals.

It is important that some sort of mechanism is included within any approval for an updated Integrated Estate Management Plan which will need to be reviewed and updated to take account of landscape and ecological changes, and the additional land which is now included in the Stowdes Estate previously outside the IEMP area.

Conclusion

31. The proposals put forward by the Tree and Landscape Officer are satisfactory solutions to the seek to address the additional requirements put forward in updated local-level guidance.

Highways and Parking Provision

32. CP6 of the Core Strategy relates to highway impacts and CC07 of the MDD Local Plan relates to parking. The proposed development would not result in any undue impact on the road network. There are no highway safety issues that would result from the proposed development and ample parking would be provided within the site. No objection is therefore raised by the Council's Highways Officer regarding highway access, highway safety or parking. It is noted that Wargrave Parish Council have

requested a traffic management plan to deal with construction traffic. The Highways Officer has indicated that such a condition is required and this therefore satisfies the comments from the Parish Council.

Archaeology:

33. Berkshire Archaeology have highlighted that there is potential for archaeological deposits on the site and have recommended a condition requiring approval of a phased scheme of archaeological works. It is considered that this is reasonable and necessary and is acceptable.

Drainage:

34. The applicant has submitted drainage strategy drawings and supporting documentation which the Council's Drainage Engineer is content with. However, no maintenance plan has been provided, along with the package of treatment required. This can be required by condition.

Neighbouring Amenity:

35. There are no neighbours in close proximity to the site that would be impacted by the proposal in terms of privacy, overbearing issues, or loss of light.

Conclusion

36. The proposal is a re-submission of a scheme which was not implemented and the permission subsequently lapsed. Subject to a legal agreement which requires a formal estate management plan to be completed (which in particular relates to heritage, landscape and ecological issues and addresses evolutions in policy requirements since the approval of the first application), the proposal is again acceptable and recommended for approval.

<p>The Public Sector Equality Duty (Equality Act 2010)</p> <p><i>In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.</i></p>

APPENDIX 1 - Conditions / informatives

APPROVAL subject to the following conditions and informatives:

1. Timescale – The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved Plans – This permission is in respect of the submitted application plans and drawings numbered:

0001 Issue P01

P-H-001-XX-003 REV 00

P-H-001-XX-005 REV 00

P-H-001-XX-010 REV 00

P-H-001-XX-020 REV 00

P-H-001-XX-030 REV 00

P-H-001-XX-040 REV 00

P-H-001-XX-045 REV 00

P-H-001-XX-060 REV 00

P-H-003-XX-010 REV 00

P-H-004-XX-010 REV 00

P-H-003-XX-020 REV 00

P-H-004-XX-020 REV 00

P-H-004-XX-030 REV 00

P-H-004-XX-040 REV 00

P-H-007-XX-010 REV 00

Proposed Landscape Masterplan 051_1101 (**APART FROM THE PROPOSED POND IN THE LOCATION OF 'PIT CLUMP', WHICH IS NOT APPROVED**)

Surface Water Strategy sheet 1 – 2170453-EW-00-L00-DR-C-1000 REV P1

Surface Water Strategy sheet 2 – 2170453-EW-00-L00-DR-C-1001 REV P1

The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Archaeology - No development, including any demolition or ground works, shall take place until the applicant or their agents or successors in title have secured the implementation of a phased scheme of archaeological works (which may comprise more than one phase of works) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the planning authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

Reason: The site lies within an area of archaeological potential. The condition will ensure that any archaeological remains within the site are adequately investigated

and recorded in order to advance our understanding of the significance of any buried remains to be lost and in the interest of protecting the archaeological heritage of the Borough.

4. Construction Methods Statement - No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:
- a) details of construction access
 - b) details of the haul routes to be used to access the development;
 - c) the parking of vehicles of site operatives and visitors,
 - d) loading and unloading of plant and materials,
 - e) storage of plant and materials used in constructing the development,
 - f) details of turning area for delivery and construction vehicles,
 - g) details of measures to prevent mud from vehicles leaving the site during construction;
 - h) appointment of a Construction Liaison Officer and appropriate monitoring and review mechanisms.

Reason: In the interests of the amenities of the area.

5. Electric Vehicle Charging - Prior to commencement of development, details for an Electric Vehicle Charging Strategy serving the development shall be submitted for approval in writing by the Local Planning Authority. This strategy should include details relating to on-site infrastructure, the location and installation of charging points and future proofing of the site unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to ensure that secure electric vehicle charging facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07 and Appendix 2 and the Council's Parking Standards Study Report (2011).

6. Drainage - Before the development is commenced above slab level, full details of a drainage system for the site shall have been submitted to and approved in writing by the LPA. The details shall include:
- A maintenance management plan for the SuDS features throughout the lifetime of the development, as well as who will be responsible for the maintenance.
 - Details of the package treatment proposed and confirmation from the EA regarding the environmental permit.

Reason: To prevent increased risk of surface water runoff.

7. CEMP: Biodiversity - No development shall take place (including demolition, ground works, vegetation clearance) until a construction environmental management plan (CEMP: Biodiversity) has been submitted to and approved in writing by the local planning authority. The CEMP (Biodiversity) shall include the following:
- a) Risk assessment of potentially damaging construction activities.
 - b) Identification of "biodiversity protection zones".
 - c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).
 - d) The location and timing of sensitive works to avoid harm to biodiversity features.
 - e) The times during construction when specialist ecologists need to be present on site to oversee works.
 - f) Responsible persons and lines of communication.
 - g) The role and responsibilities on site of an ecological clerk of works (ECoW or similarly competent person).
 - h) Use of protective fences, exclusion barriers and warning signs.

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.

Reason: To ensure that the proposal is in accordance with ODPM circular 2006/05 guidance on protected species and local plan policies CP7 and TB23.

8. Detailed Landscaping - No development shall take place until full details of both hard and soft landscape works (in accordance with the Landscape Masterplan 051_1101) have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. The details shall include, as appropriate:
- a) scheme drawings
 - b) proposed levels, contours and mounding including construction of Ha- Ha and amphitheatre
 - c) profiles and construction details of ponds and lakes
 - d) soft landscaping details including planting plans, schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate
 - e) a Landscape Specification document covering soft landscaping (including site preparation, cultivation, plant handling and other operations associated with plant and grass establishment) and hard landscaping including all construction works such as paths, bridges and retaining walls
 - f) hard landscaping materials including samples
 - g) minor artefacts and structures including specifications for the product and installation.
 - h) all boundary treatments, and other means of enclosure or controlling access such as gates, bollards and vehicle restraint systems, which shall include consideration of ecological permeability
 - i) measures required for ecological mitigation and biodiversity net gain.
 - j) Profile and construction details of pool and watercourse

Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity.

9. Protection of Trees – No development or other operations shall take place except in complete accordance with the Revised Tree Protection Scheme by Fulford-Dobson Associates Ltd and dated 17th November 2022 (hereinafter referred to as the Approved Scheme), unless otherwise agreed in writing by the Local Planning Authority.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

10. Before the development is commenced above slab level, samples and details of the materials to be used in the construction of the external surfaces of the buildings shall have first been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the so-approved details.

Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy Core Strategy Policies CP1 and CP3.

11. Lighting – Prior to their installation, details of a lighting scheme shall be submitted to and approved in writing by the local Planning Authority. The submitted details shall include measures to minimise sky glow and light spillage to neighbouring properties. Such details as may be approved shall be implemented in full before the first use of the development and shall be retained as such thereafter.

Reason: In the interests of the amenities of the area.

12. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

13. No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National holidays,

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy Policies CP1 and C)P3 and managing development delivery Local Plan CC06.

14. Prior to commencement of the tunnel, full details, including section drawings, shall be submitted to and approved in writing by the local planning authority. The tunnel shall be implemented as approved.

Reason: For the avoidance of doubt, as there is lack of adequate detail on the plans received.

15. Parking to be provided - No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking space has been provided in accordance with the approved plans. The vehicle parking space shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy

APPENDIX 2 - Parish Council Comments

PLANNING REF : 213587
PROPERTY ADDRESS : Council Office
: Pavilion, Recreation Road, Wargrave, Wokingham
: RG10 8BG
SUBMITTED BY : Wargrave Parish Council
DATE SUBMITTED : 14/12/2021

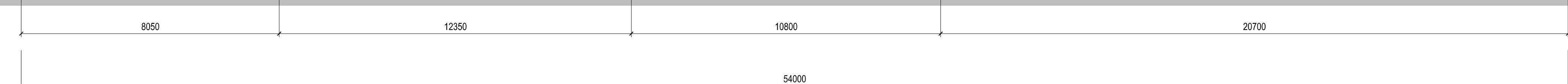
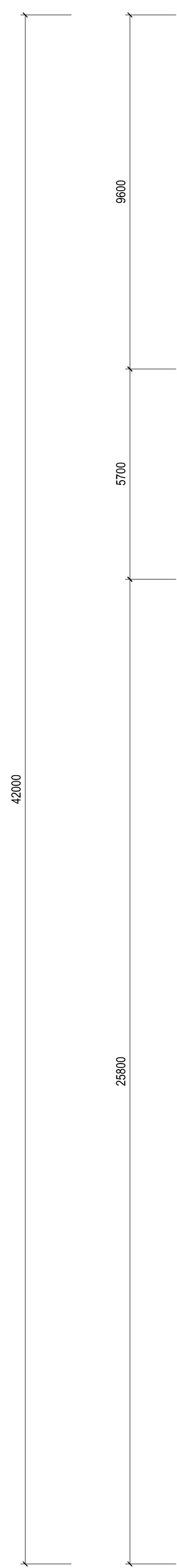
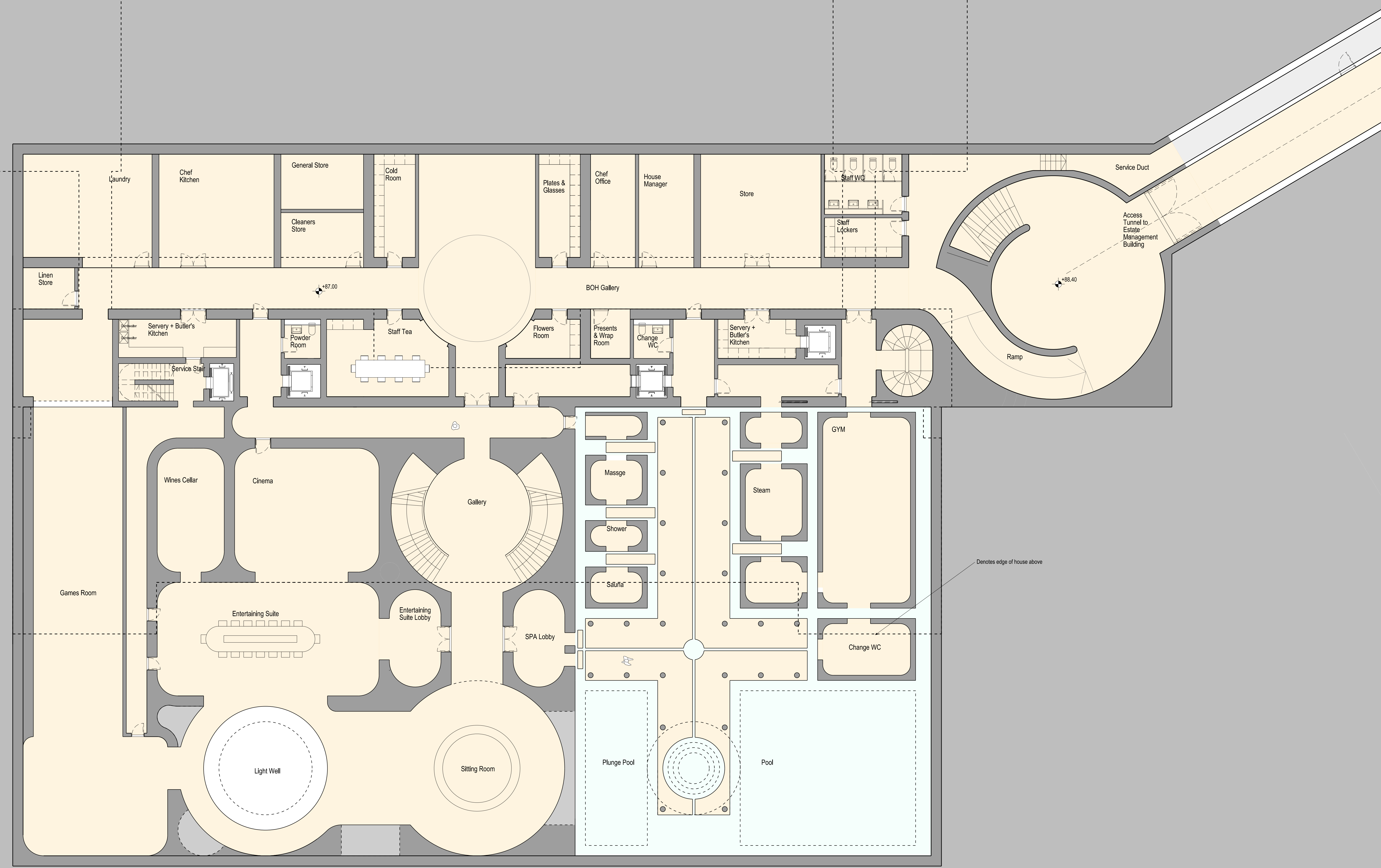
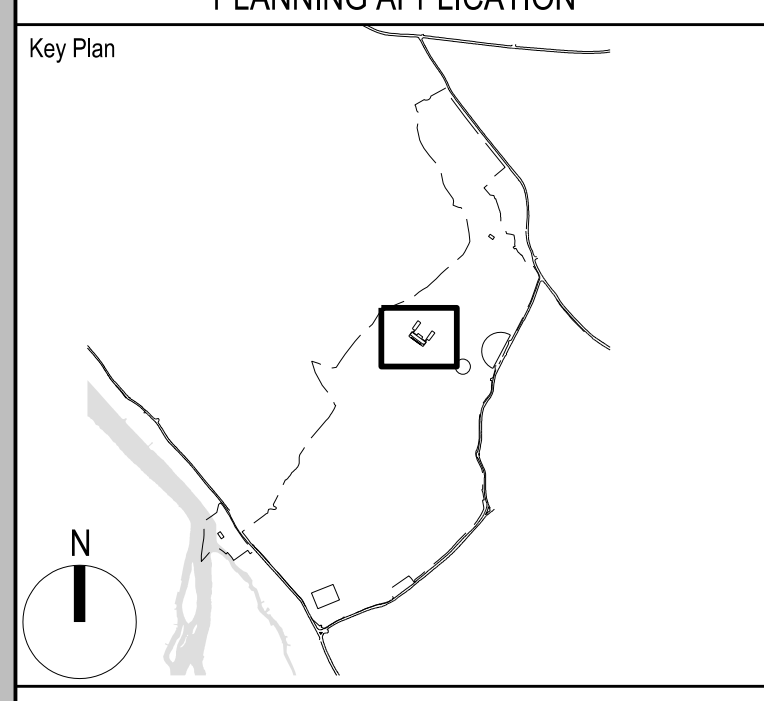
COMMENTS:

Wargrave Parish Council had NO OBJECTION to this application.
A condition is requested requiring the submission of a traffic management plan during the construction phase to take into consideration the impact upon the surrounding narrow roads of construction traffic.

- General Notes
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 3. All levels are in metres unless noted otherwise.
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 5. Foster + Partners shall be notified in writing of any discrepancies.
 6. Any areas indicated on this sheet are approximate and indicative only.

Rev.	Date	Reason For Issue	Chk
00	03/10/17	Planning application	JE

PLANNING APPLICATION



01 Basement Plan
1:100

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Client
Spink Property

Project
Strowdes Estate

Title
**Strowdes House
Basement Plan**

Project No.
2617

Date
03/10/2017

Scale at ISO A0
1:100

Number
P-H-001-XX-040

Revision
00

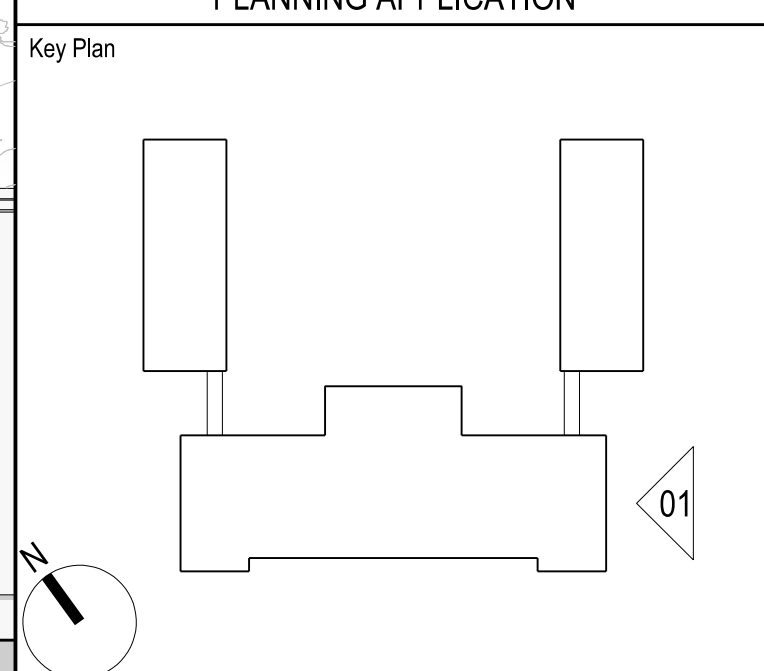
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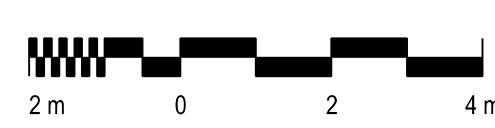


Rev.	Date	Reason For Issue	Chk
00	03/10/17	Planning application	JE

PLANNING APPLICATION



01 East Elevation
 1:100



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Project
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Title
**Strowdes House
 East Elevation**

Project No.
2617

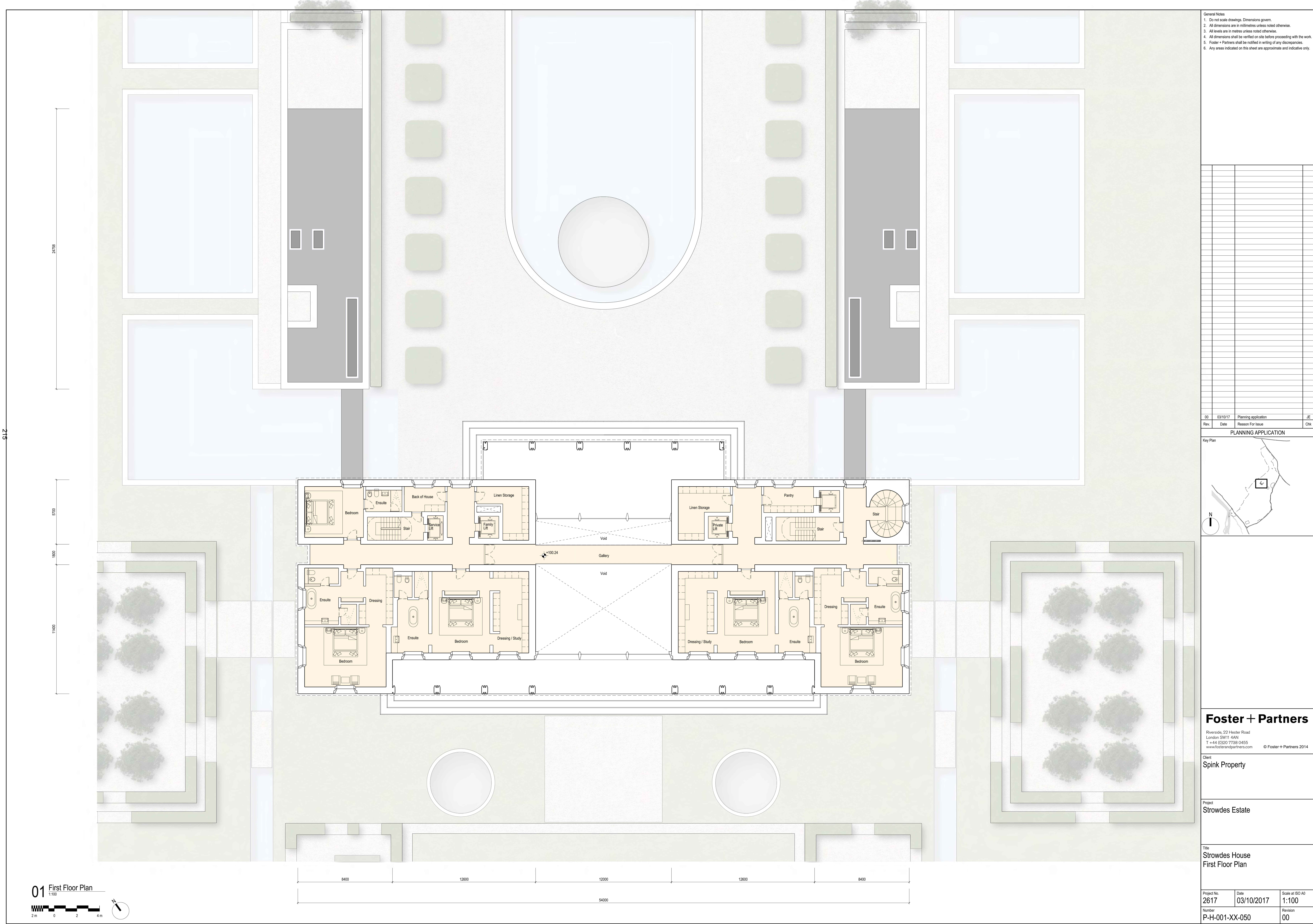
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P-H-004-XX-040

Revision
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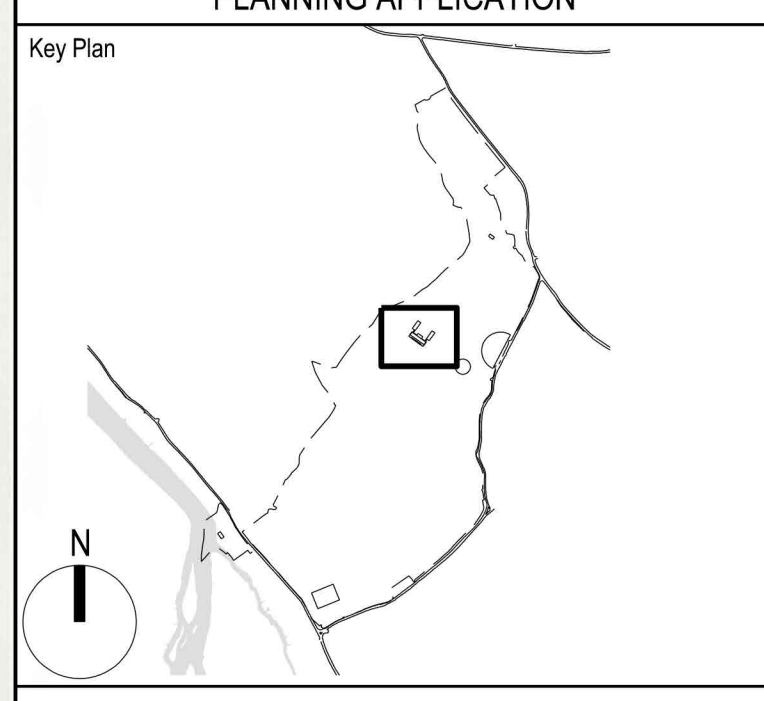
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PLANNING APPLICATION



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Project
Strowdes Estate

Title
Strowdes House
First Floor Plan

Project No.
2617

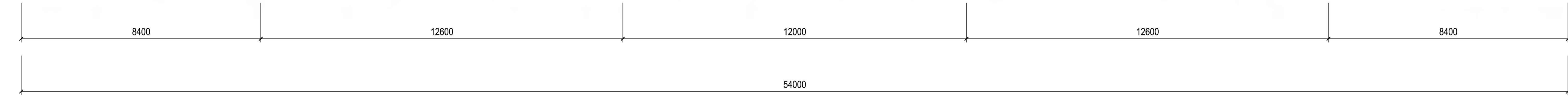
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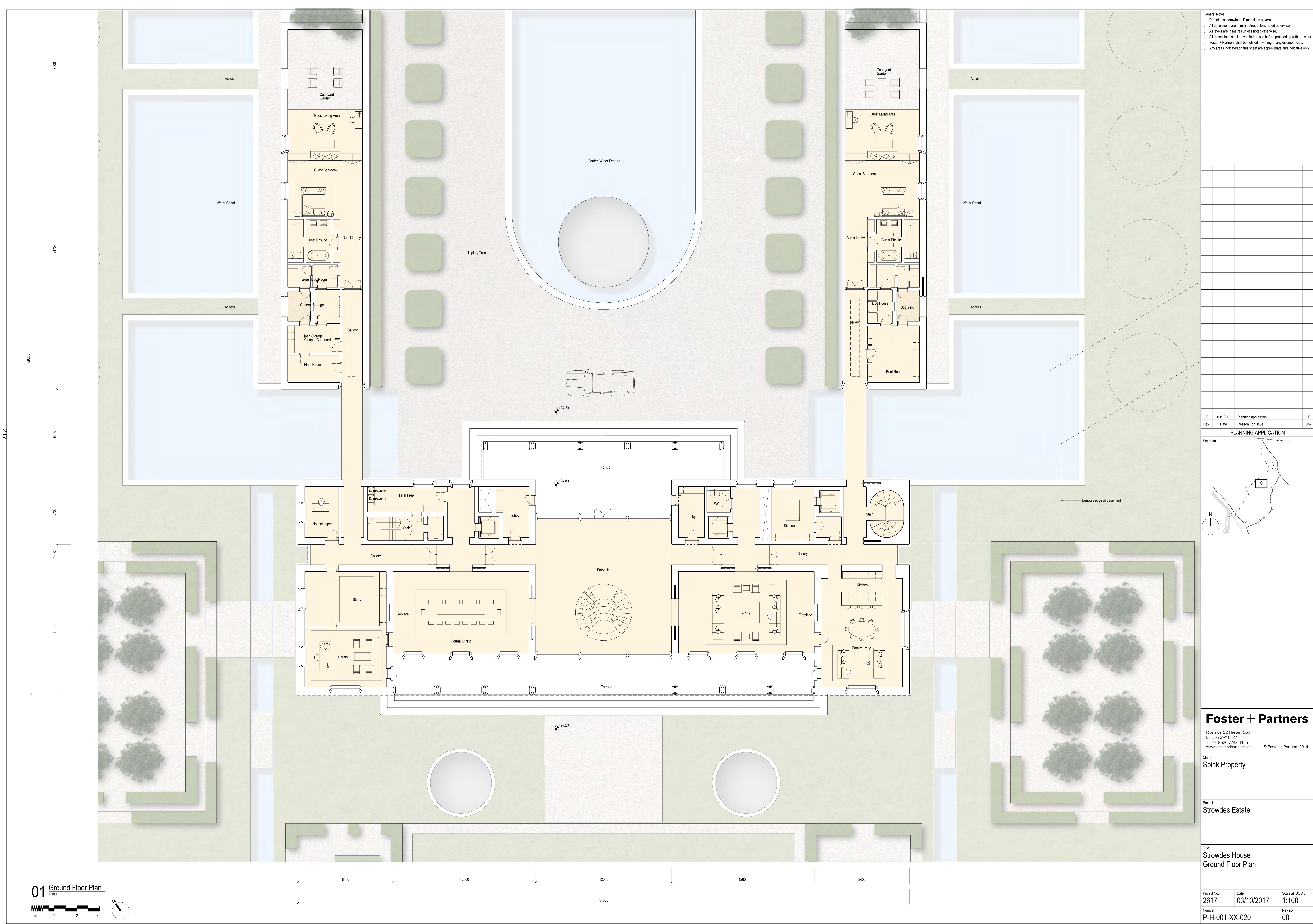
Number
P-H-001-XX-050

Revision
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01 First Floor Plan
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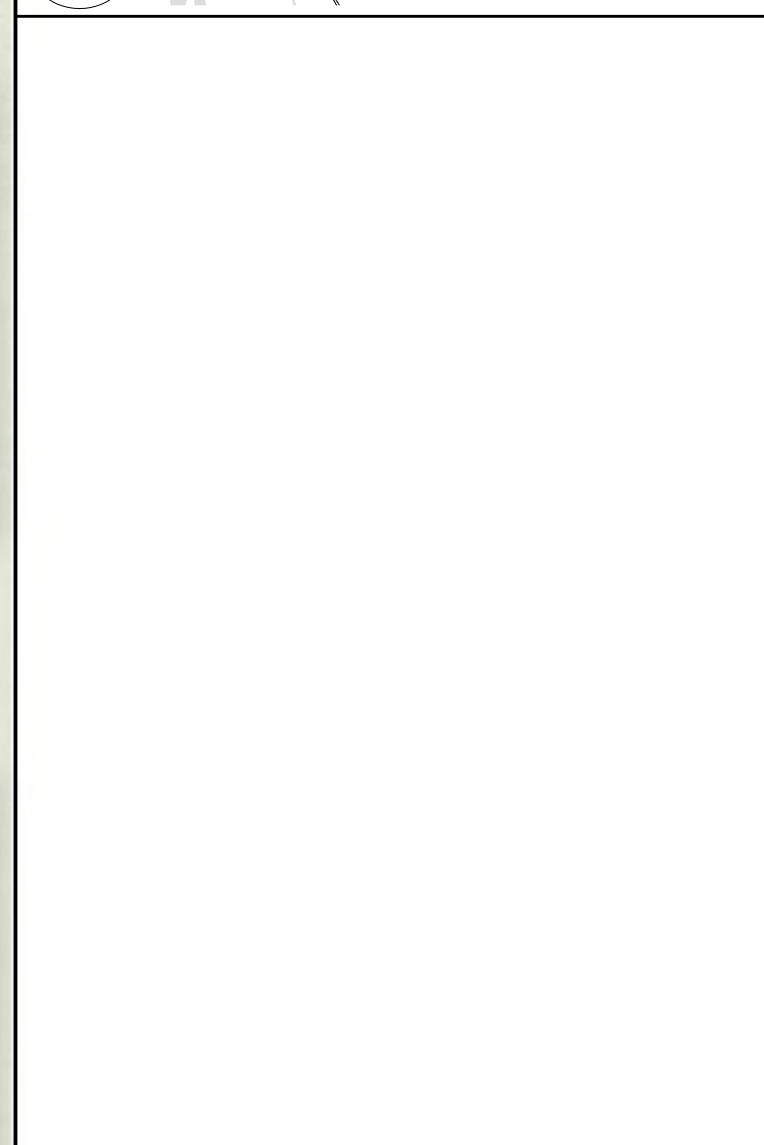
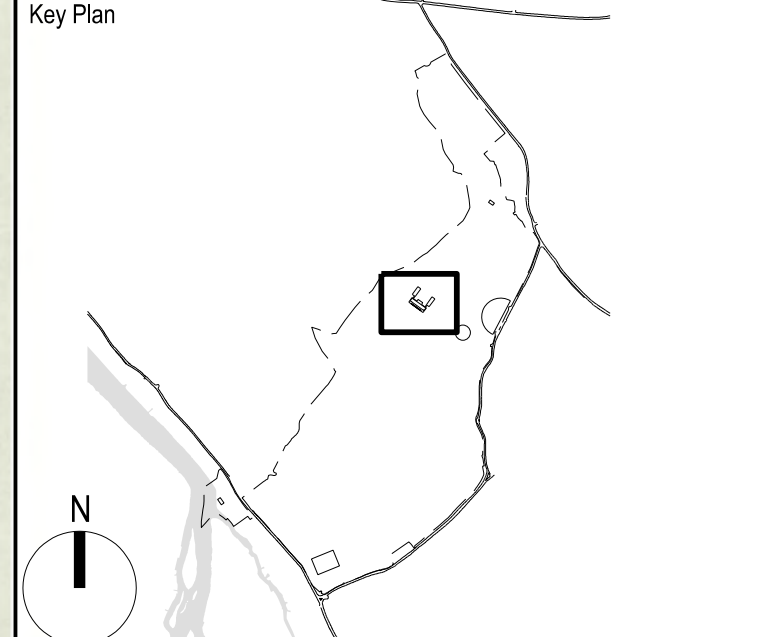
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PLANNING APPLICATION



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Project
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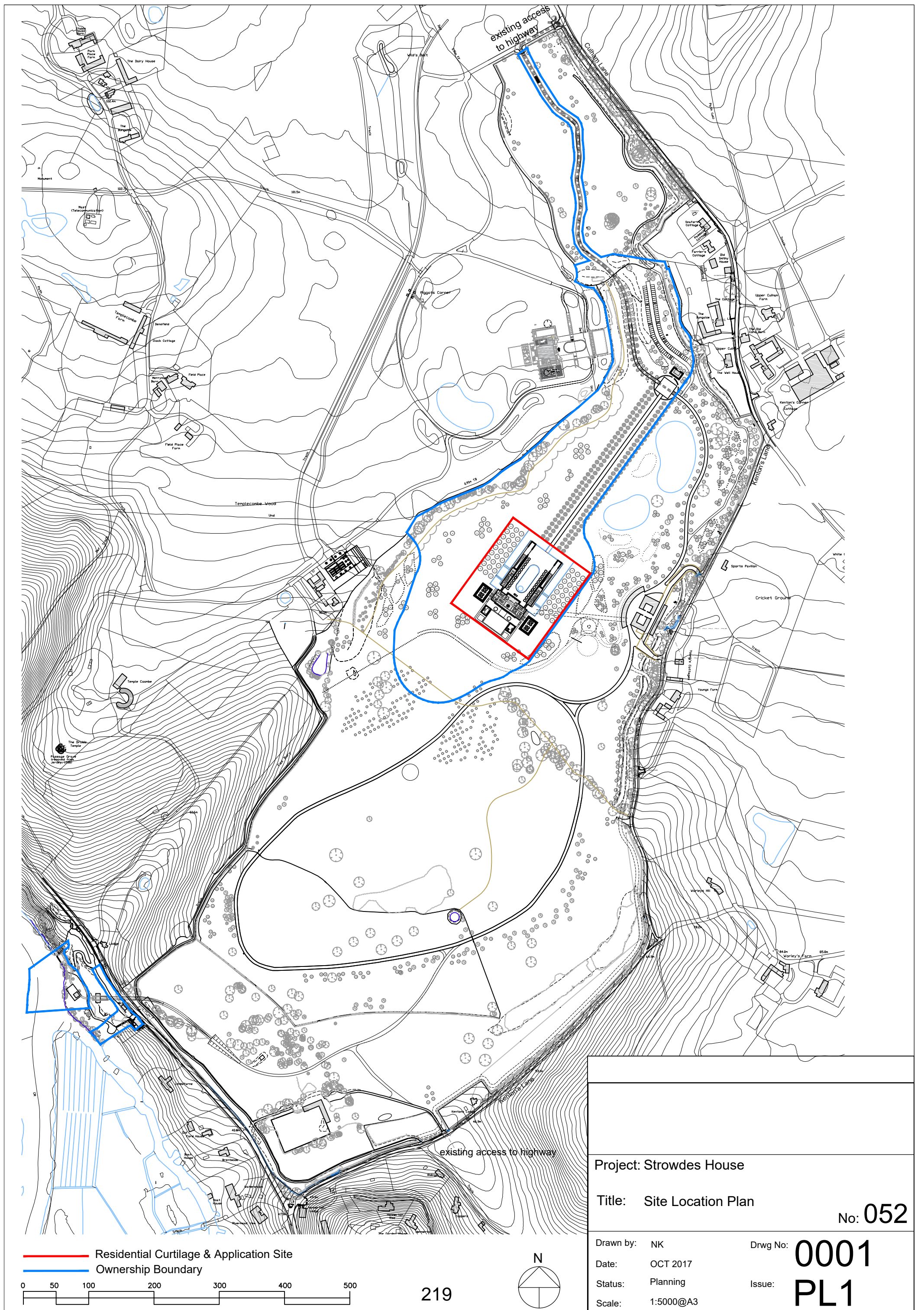
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**Strowdes House
 Ground Floor Plan**

Project No.	Date	Scale at ISO A0
2617	03/10/2017	1:100
Number	Revision	
P-H-001-XX-020	00	

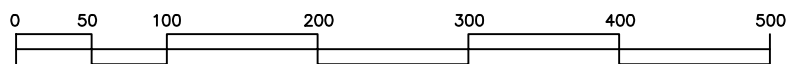
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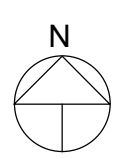
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— Residential Curtilage & Application Site
— Ownership Boundary



219



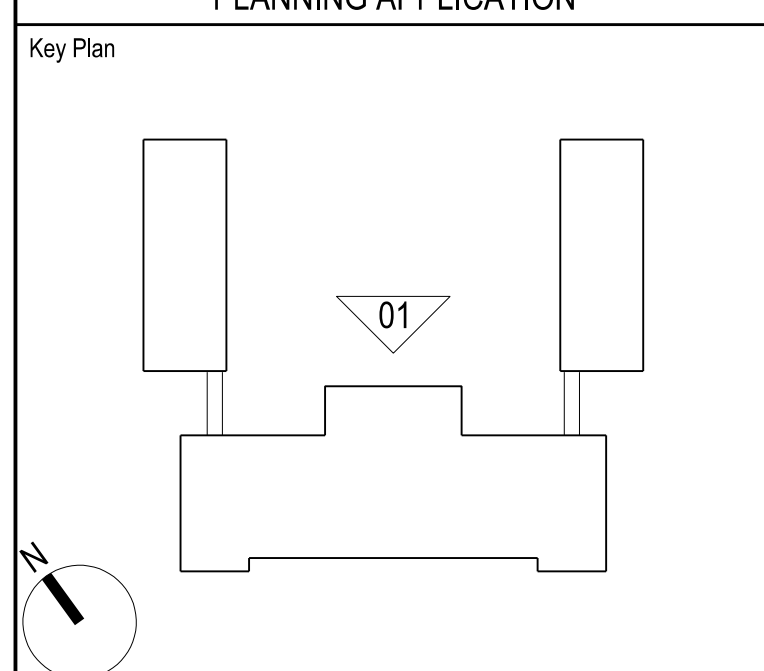
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Title: Site Location Plan		
Drawn by: NK	Drwg No: 0001	
Date: OCT 2017	Status: Planning	Issue: PL1
Scale: 1:5000@A3		

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PLANNING APPLICATION



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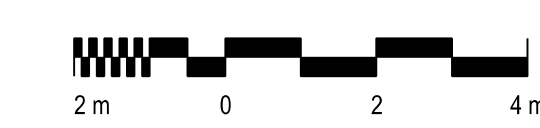
Project
Strowdes Estate

Title
**Strowdes House
North Elevation**

Project No. **2617** Date **03/10/2017** Scale at ISO A0 **1:100**

Number **P-H-004-XX-010** Revision **00**

01 North Elevation
1:100



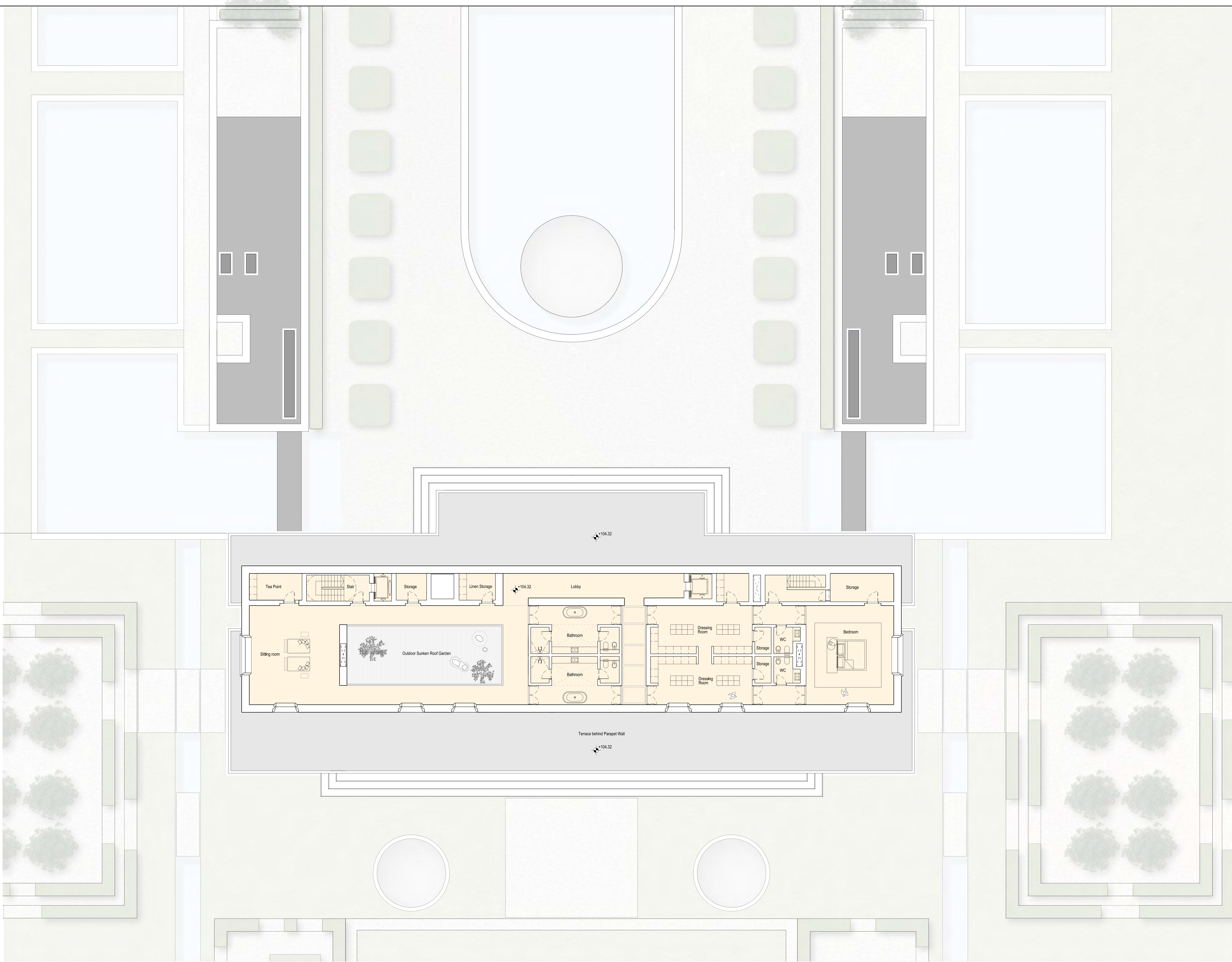
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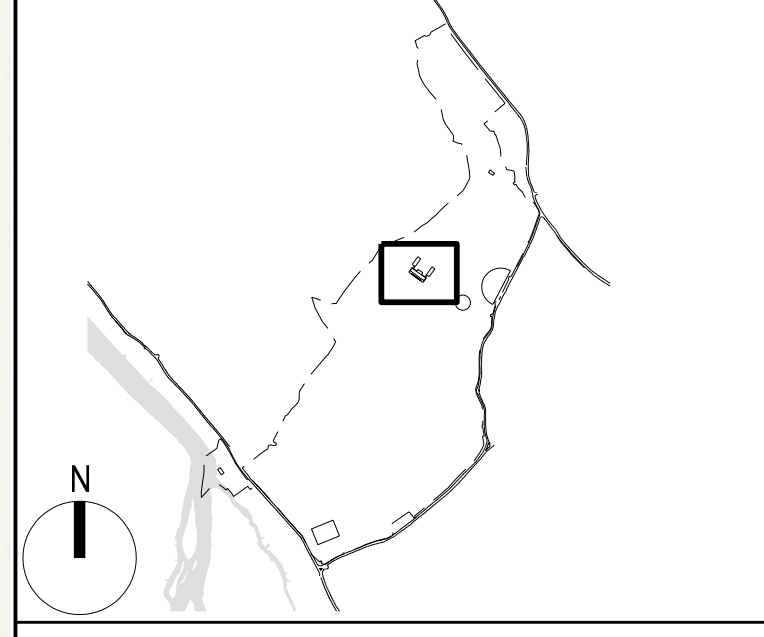
01 Second Floor Plan
1:100
2m 0 2 4m



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PLANNING APPLICATION



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Project
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Title
Strowdes House
Second Floor Plan

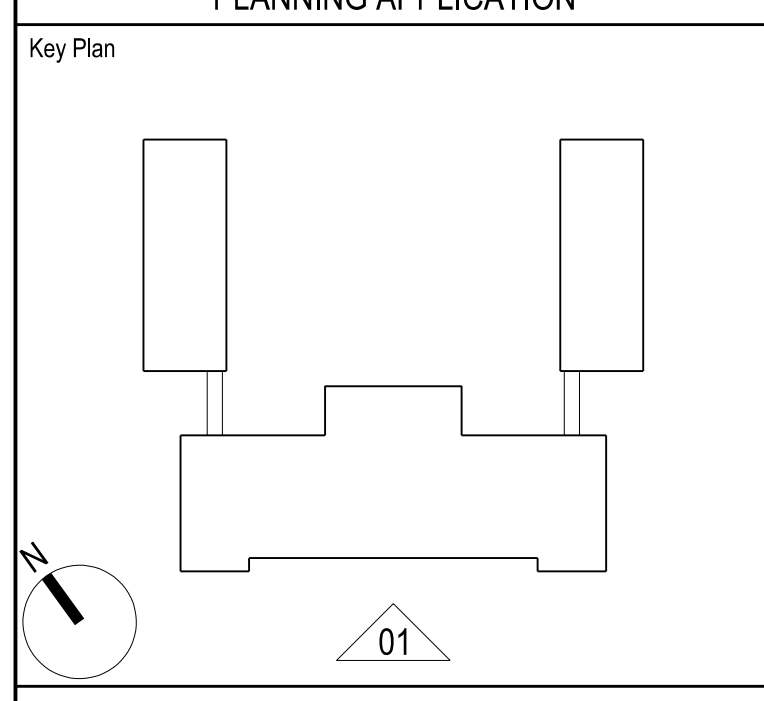
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Number	Revision	
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Rev.	Date	Reason For Issue	Chk
00	03/10/17	Planning application	JE

PLANNING APPLICATION



01 South Elevation
1:100

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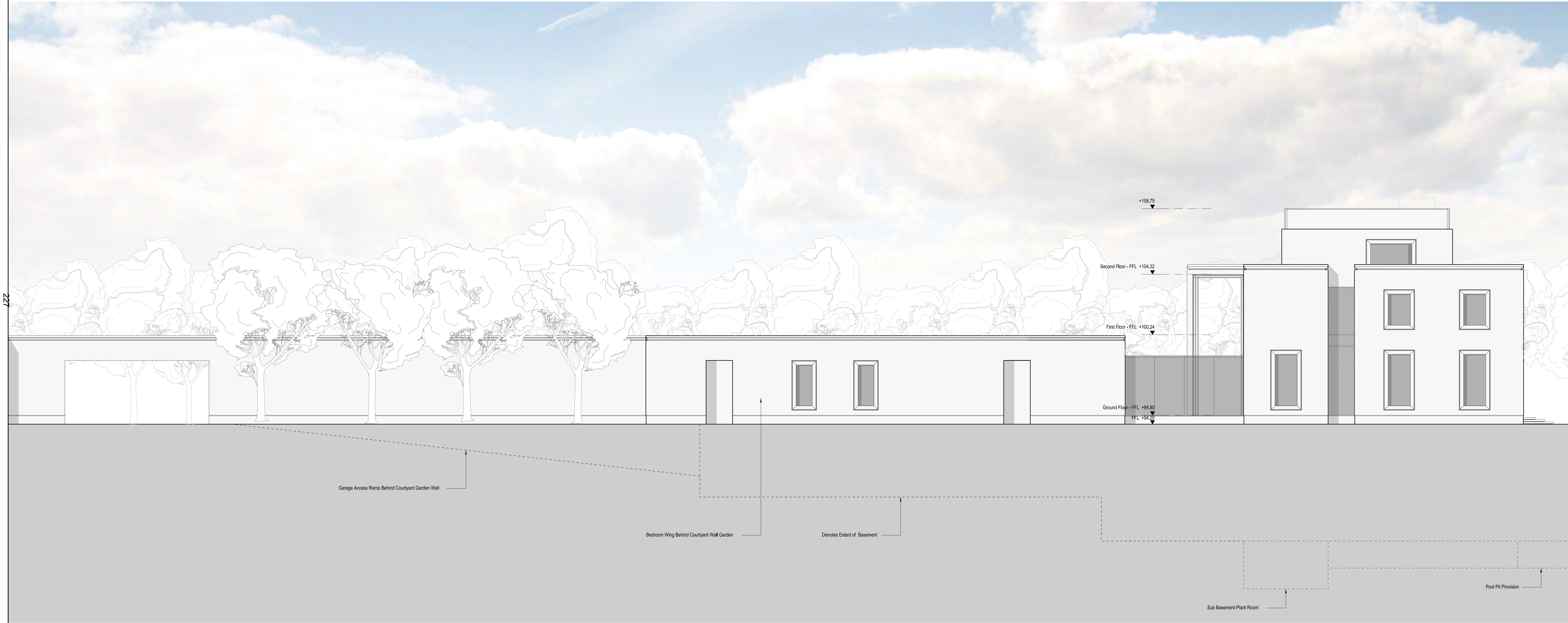
Project
Strowdes Estate

Title
**Strowdes House
 South Elevation**

Project No. 2617	Date 03/10/2017	Scale at ISO A0 1:100
Number P-H-004-XX-020	Revision 00	

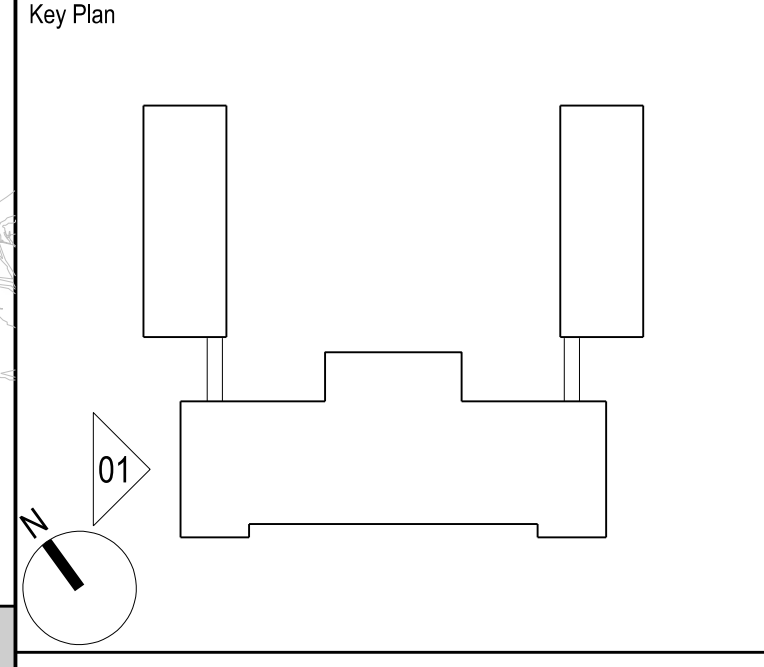
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00	03/10/17	Planning application	JE

PLANNING APPLICATION



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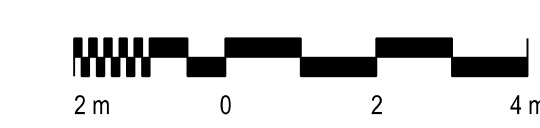
Project
Strowdes Estate

Title
**Strowdes House
West Elevation**

Project No. **2617** Date **03/10/2017** Scale at ISO A0 **1:100**

Number **P-H-004-XX-030** Revision **00**

01 West Elevation



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Application Number	Expiry Date	Parish	Ward
230219	12/05/2022	Earley	Bulmershe and Whitegates

Applicant	Abrdn
Site Address	Unit 31-33 Suttons Business Park, Suttons Park Avenue, Earley, RG6 1AZ
Proposal	Full planning application for the demolition of existing building and erection of new building to provide new class B2/B8 industrial unit with ancillary office space plus associated storage areas, car parking, access and landscaping.
Type	Full
Officer	George Smale
Reason for determination by committee	Major Application

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 May 2023
REPORT PREPARED BY	Assistant Director – Place
RECOMMENDATION	APPROVAL subject to conditions and informatives

SUMMARY
<p>This planning application is before the committee as it is a Major planning application recommended for approval.</p> <p>This is a proposal for the replacement of three existing B Class use units (1x B2 and 2 x B8) with a new B8/B2 unit. The proposed replacement building will be smaller in its width and depth reducing its floor space, but would be taller than the existing building. However, given that the proposal would be only 0.5m taller, that there are variations in the heights of the buildings along the street and the wider industrial estate, and that the proposal is set within the site, that the proposal would not be harmful to the character of the area.</p> <p>The proposal would also not result in a harmful loss of B Class floor space.</p> <p>The proposal would not result in harm to residential amenity and would not result in issues of highway safety or parking stress.</p> <p>As such, the proposal would accord with the development plan and is recommended for approval.</p>

PLANNING STATUS
<ul style="list-style-type: none"> • Major development location • Contaminated land consultation zone • Core Employment Area • Consultation Zone - Major Nuclear Site- AWE 12km • Environment Agency Surface Water Flood Zones • Bat Roost Habitat Suitability • Sites of Special Scientific Interest Impact Risk Zones

RECOMMENDATION
That the Committee authorise the GRANT OF PLANNING PERMISSION subject to conditions.

PLANNING HISTORY		
Application ref	Description	Outcome
181642	Full planning application for the demolition of existing building and erection of new building to provide new class B2/B8 industrial unit with ancillary office space plus associated storage areas, car parking, access and landscaping.	Conditional Approval-13 September 2018
TP/2001/5098	Temporary permission for storage building for unit 31 and 32.	Conditional Approval-30 January 2002
22133	Change of use lind electronics (unit 32, 33).	Conditional Approval-23 August 1984
45259	Change of use of unit 32 from B1(c) to B8.	Conditional Approval-21 December 1995
96/64771/A	Non-illuminated facia sign.	Conditional Approval-15 January 1997
96/64572/7	Antenna.	Conditional Approval-3 December 1996
30470	Car parking spaces, mezzanine floor/offices.	Conditional Approval-10 June 1988
28516	External and internal alterations (add office space).	Conditional Approval-2 September 1987
22133	Unit 32 & 33- Change of use from industrial to electronics.	Conditional Approval-23 August 1984
15101	Gatehouse and store.	Conditional Approval-9 April 1981

Application ref	Description	Outcome
09044	3 Warehouse units.	Approved. 31 August 1978

SUMMARY INFORMATION	
For Commercial	
Site Area	1.4 ha
Previous land use(s) and floorspace(s)	2 x units B8 and 1 x B2 totalling 8,114 m ²
Proposed floorspace of each use	Mixed B2 and B8 totalling 7,314 m ²
Change in floorspace (+/-)	-800 m ²
Number of jobs created/lost	N/A
Existing parking spaces	99 car parking spaces
Proposed parking spaces	129 car parking spaces (+30), 6 motorcycle parking spaces, and 37 bicycle spaces

CONSULTATION RESPONSES	
WBC Ecology	No objection, subject to conditions.
WBC Drainage	No objection subject to condition.
WBC Environmental Health	No objection subject to condition.
WBC Highways	No objection subject to conditions.
WBC Tree & Landscape	No objection subject to conditions.
West Berks Emergency Planner	No comments.
WBC Emergency Planner	No comments.
Berkshire Archaeology	No objection subject to conditions.
Network Rail	No objection and recommend informatives.
The Environment Agency	No comments.

REPRESENTATIONS
Town/Parish Council: No objection.
Local Members: No comments received.
Neighbours: No comments received.

APPLICANTS POINTS
<ul style="list-style-type: none"> Application seeks to continue the broader rejuvenation of Suttons Business Park by redeveloping the site to create a new and attractive modern unit to replace the current deteriorating building. The site sits within a recognised core employment area, where development for business, industry, or warehousing should be encouraged. The proposed scheme will attract a wide range of potential occupiers, which will improve the attractiveness of Suttons Business Park from a market point of view. The existing units are no longer fit for use for industrial occupiers because the service yards are insufficient in depth and the units have limited eaves height.

- The proposal responds well to the character of the surrounding buildings in the Business Park, incorporates sustainable design solutions, and protects the amenity of the adjoining occupiers.
- The scheme encourages sustainable forms of travel due to its proximity to public transport links and pedestrian routes. There is also provision of secure cycle storage facilities.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
National Planning Policy Guidance	PPG	
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP15	Employment Development
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC05	Renewable energy and decentralised energy networks
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
	TB04	Development in vicinity of Atomic Weapons Establishment (AWE), Burghfield
	TB11	Core Employment Areas
	TB12	Employment Skills Plan
	TB21	Landscape Character
	TB23	Biodiversity and Development
	TB25	Archaeology

Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 4
		DCLG – National Internal Space Standards

PLANNING ISSUES

Description of Development

1. The proposal is for the demolition of the existing industrial units, 31, 32, and 33 (1 x B2 and 2 x B8 use) Suttons Business Park, and their replacement with a single B2/B8 unit with ancillary office in a mezzanine level.
2. The proposed building would be smaller in its width and depth than the existing building but would be taller and is set back into the site towards the railway line. It would have dual pitched roof with a ridge height of 17.1 metres and an eaves height of 15.5 metres.
3. A new service yard and parking area will be located to the south of the site in front of the new unit with for 129 car parking spaces (+30), 6 motorcycle parking spaces, and 37 bicycle spaces. There will also be the creation of two new accesses to the front and the side of the site, and an integrated landscape scheme.
4. It is acknowledged that this proposal similar in the nature, scale, and form to a previous consent on the site (ref: 181642) for a single B2/B8 unit with ancillary office space which was approved by the council's planning committee on 13/09/2018. This permission was never implemented. The main difference with the current application is the small decrease to the ridge height (-0.4m) and eaves height (-0.5m) of the building, and alterations to parking arrangements.

Principle of Development

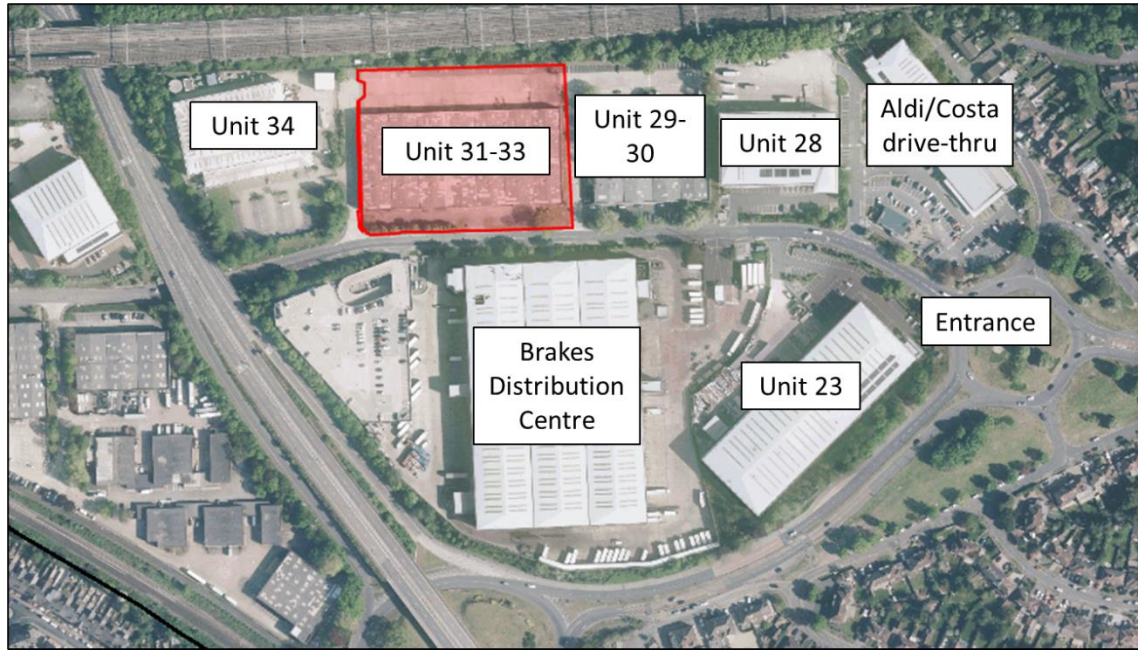
5. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. Paragraph 81 of the NPPF states that decisions should help create the conditions in which businesses can invest, expand and adapt. It goes on to confirm that **significant weight** (officer emphasis) should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.
6. The site is located in a Core Employment Area and therefore the application needs to be assessed against policies CP15 and TB11. Specifically, these policies encourage the provision of B use floor space in Core Employment Areas as well as supporting a range of types of buildings (e.g., start-up, expansion and investment). The proposal would result in an overall loss of around 800sqm of B class floor space. Notwithstanding, the proposal would replace a dated building which is more attractive to future occupiers. The significant increase in height and overall volume of the building in comparison to the existing building will allow for a more flexible use to serve the modern-day requirements of large-scale commercial units. In addition, the new service yard is sufficient in depth to the front of the property is more accessible than the existing position to the rear. As such, the

principle of development is considered in accordance with local and national policy.

Character of the Area

7. Policy CP1 of the Core Strategy states that planning permission will be granted for development proposals that 'maintain or enhance the high quality of the environment'.
8. Policy CP3 of the Core Strategy states planning permission will be granted if development is '...of an appropriate scale of activity, mass, layout, built form, height, materials and character to the area together with a high quality of design without detriment to the amenities of adjoining land users including open spaces or occupiers and their quality of life'. Proposals should provide a functional, accessible, safe, secure, and adaptable scheme that uses the full potential of the site.
9. Section 7.2 of the Wokingham Borough Design Guide SPD states that non-residential development should be designed to respond to and exploit key features or characteristics of the site and the local context. Views should not be limited to arrival at the site by car and proposals should create well designed and attractive environments that people enjoy using, as well as being successful in attracting occupants. Section 7.5 states that car parking should be positioned unobtrusively and should be well designed and landscaped. Boundary treatments should form an integral part of design proposals.
10. MDD Policy CC03 states that: Development proposals should demonstrate how they have considered and achieved the following criteria within scheme proposals:
 - a) Provide new or protect and enhance the Borough's Green Infrastructure networks, including the need to mitigate potential impacts of new development
 - b) Promote accessibility, linkages and permeability between and within existing green corridors including public rights of way such as footpaths, cycleways and bridleways
 - c) Promote the integration of the scheme with any adjoining public open space or countryside
 - d) Protect and retain existing trees, hedges and other landscape features
 - e) Incorporate high quality, ideally, native planting and landscaping as an integral part of the scheme.
11. MDD Policy TB21 states that proposals shall retain or enhance the condition, character and features that contribute to the landscape.

12. Suttons Business Park consists of 61 individual business and commercial units, totally an area size of approximately 12 hectares. The Park is contained within the two railway lines running along the northern and southwestern boundary, and is partly split into two by the connecting road of the A4 and A3290(M), connected via a vehicular underpass. Many of the units remain undeveloped from their original 1980s condition, but others have been either retrofitted or replaced entirely to provide more attractive and functional buildings for modern-day multi-purpose usage.



13. The existing site comprises of one large 8,114 sqm building with three separate industrial units on the eastern side of the Business Park. The buildings existing 1980s materials consist of external brick walls, glazed windows to the front, and steal roofing. To the rear of the site is the service area and beyond that is the railway line that delineates the edge of the business park. The main car park is located to the front of the buildings, with additional parking to the sides.
14. The new site layout will set the new building further back to the rear of the plot in proximity to the railway line, retaining a 3.8m distance to the northern boundary. Servicing and car parking areas will be located to the front of the site. The servicing area will be accessed from the eastern side of the site and would be seen as an extension of the main car park. Retained mature trees and proposed soft landscaping along the front boundary will soften the visual impact of the service yard from Suttons Park Avenue Road. Furthermore, the front facing orientation of car parks is a common characteristic of the surrounding business park, such as at Unit 34, 27, and 23.
15. The proposed building would have a typical industrial design being rectangular in shape with a double pitched roof form, reflective of their intended purpose. In terms of scale and massing, the development would be slightly smaller in terms of width and depth than the existing unit (4.16m narrower, and 7.7m less deep), but it would be taller by around 8.1m to the ridge than the existing building. It is acknowledged that the ridge height is 0.4m lower and the eaves height is 0.5m lower than the previous planning consent- 181642, with the same width and depth.

	Width	Depth	Height	Approximate Volume (m3)
Existing	128.45m	61.4m	9m (ridge), 8m (eaves)	67,000
Proposed	124.29m	35.7m	17.1m (ridge), 15.5m (eaves)	110,000
Increase/ Decrease	-4.16m	-7.7m	+8.1m (ridge), +7.5m (eaves)	+43,000

16. Whilst the height of the proposal is a notable increase when compared to the existing and immediate neighbouring units, industrial units often have taller ridge and eaves height for modern-day functionality that typically allows the occupier to make the most efficient use of the internal space available for commercial purposes. Utilising the most efficient space for logistics companies by maximising cubic capacities is a pull for potential occupiers which will increase the economic competitiveness of the site and surrounding business park.

17. The building height of the proposed development is comparative to the height of several industrial units on the surrounding site. For reference, the Brakes Distribution Centre, Unit 24, located to the south of the site, has an external ridge height of 16.5m. Elsewhere across the site, there is variation of different building heights. The development is also well contained within the plot and retains a sufficient separation distance between both the site boundaries and the neighbouring units. Given the above, there would be no adverse impact to the character of the business park as a result of the proposal.

18. In terms of materials, the main building will be clad in metal with the pitched roof clad in a light grey colour to match the appearance of the newer buildings to the east of the park. The offices on the principal elevation of the building will be finished in glazing and a dark grey metallic profiled cladding finish and buff brickwork will be used around the office entrance. The extensive glazing will be set in powder coated aluminium frames with a Brise Soleil above. This will have a contemporary and appealing appearance.

Residential Amenities

19. The site is located around 274 metres away from the nearest residential dwelling and there are other uses and buildings situated between these dwellings and the site. As such, no harmful impact would occur with regard to overbearing impacts or impacts with regard to daylight or sunlight. Given such distance, the proposal would also not result in harm by way of noise from deliveries. As such, the proposal would be acceptable in this respect.

Sustainable Design/ Construction

20. Paragraph 153 of the NPPF requires local plans to “take a proactive approach to mitigating and adapting to climate change...” which footnote 53 makes clear should be in line with the Climate Change Act 2008 and Paragraphs 157 – 158 deal with individual development and emphasise the importance of energy efficient, low carbon development.

21. Policy CC04 of the MDD LP Sustainable Design and Construction and the Sustainable Design and Construction SPD require that all new non-residential proposals of more than 100m² gross non-residential floorspace shall achieve at least the necessary BREEAM requirements or national equivalent. The interpretation to this policy, in light of the changes to Building Regulations, has been clarified in the WBC's Climate Change Interim Policy Statement (December 2022).
22. The Interim Future Buildings Standard, which came into force on 15 June 2022, requires that new non-residential buildings achieve a 27% reduction in carbon emissions to secure compliance with Building Regulations. The appropriate BREEAM rating required under Policy CC04 of MDD LP is one that reflects the levels of reduction in carbon emissions stipulated in the Future Buildings Standard (i.e. the 27% reduction). The corresponding BREEAM rating, which seeks requires this minimum level of reduction in carbon emissions, is BREEAM 'Excellent' rating. Therefore, the proposal needs to demonstrate that it will achieve the BREEAM rating 'Excellent' or higher. This interpretation to Policy CC04 is further supported by the Council's Climate Change Interim Policy Statement adopted by the Council in December 2022.
23. The submitted Design and Access Statement states that the new development aspires to achieve a BREEAM 2018 New Construction- Industrial 'Very Good' rating. This aspiration is one level below the BREEAM 'Excellent' rating. Whilst the proposed development will not meet the minimum level of reduction in carbon emissions, on balance, this shortfall must be weighed against the identified economic and social benefits the scheme will bring. In any event, a condition requiring a 'Very Good' BREEAM rating can be secured should approval be obtained.
24. Policy CC05 requires non-residential proposals of more than 1,000 square metres gross floor space to deliver a minimum 10% reduction in carbon emissions through renewable energy or low carbon technology. An Energy Statement has been submitted which states that the carbon saving achieved from the photovoltaic panels (0.644kg CO₂/m²) and the DX Air Source Heat Pumps (0.021kg CO₂/m²) achieve the 10% carbon offset from the actual building carbon emission rate (BER). As such, it is considered necessary to condition that the development is carried out in accordance with this statement.

Access and movement

25. Core Strategy Policy CP6 indicates that proposals should allow for transport choice, improve infrastructure, provide appropriate parking, mitigate adverse effects, enhance road safety and not cause highway problems. CC07 of the MDD Local Plan contains the Borough parking Standards. The NPPF advises at paragraph 111 that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
26. The WBC Highways Officer recognises that the proposed scheme is similar to a previous approved application (181642) which had not been implemented. For the previous consultation Highways had no objections subject to conditions. Since

then, the only changes for this current application in terms of Highways impact have been a small reduction in the parking provision on the site.

27. It is proposed that the main car park would be accessed off Sutton Park Avenue. The service access would be off the existing service road to the west of the site. It is also proposed that an emergency access to the east of the site will be provided. Highways understands that the main access into the site would utilise the existing access from Sutton Park Avenue. The other accesses will be from the existing private service roads. The Highways Officer has no objection to this.
28. Swept paths of a large articulated lorry have been submitted for the service yard entrance as well as manoeuvring in the site. These are acceptable.
29. In terms of impact on traffic, Highways have carried out a comparative assessment and conclude that when compared to the existing use of the site, the level of trips to and from the site will be lower. As such, there would be no traffic impact that would have an adverse impact on the highway network.
30. It is proposed that there would be 129 parking spaces, 6 disabled spaces and 6 motorcycle spaces on site. Based on Borough standards for B2/B8 use for the development of this size, the minimum requirement of car parking would be 98 spaces. It is proposed that there will be 129 spaces, 31 above the level required. There is ample space on site for parking and safe manoeuvring. Furthermore, the level of motorcycle and disabled parking are in line with standards and are acceptable.
31. The site is already well served by public transport and is within suitable distance to rail and road links. A Travel Plan would also help ensure other transport modes than the private car would be used, the submission of which will be secured by a condition. 37 cycle parking spaces are proposed which complies with the councils standard. These spaces would need to be sheltered and secure and Highways is content that the details of these spaces can be secured through a planning condition.

Trees and Landscaping

32. A Tree Survey and Constraints Plan by Davies Landscape Architects, dated December 2022, has been provided along with a Tree Removal Plan. This indicates that the application would only require the removal of three 'Category U' trees (very poor quality), and all other trees can be retained and protected as shown on the Tree Protection Plan. The WBC Tree and Landscape Officer has no objection in principle to this subject to the submission of an accompanying Arboricultural Method Statement. This can be secured through a condition.
33. A Soft Landscape Proposal drawing has been provided indicating additional and replacement tree and hedgerow planting along the southern boundary of the site with Suttons Park Avenue which will have a positive impact on the landscape character of the area. Further details of all hard surfacing, fencing and retaining walls are needed. Therefore, landscape and boundary conditions will be secured.
34. Proposed site levels, including the finished floor level of the new industrial unit, have not been supplied as part of this application. An understanding of what the

levels will be across the site is important to ensure the inclusion of new car parking spaces along the eastern boundary of the site. A levels condition will therefore be secured to provide this information.

Flooding and Drainage

35. The development is in Flood zone 1 and is of low risk from surface water flooding according to the EA mapping. Surface water drainage from the site currently discharges off-site to the east and into the main public sewer network.

36. A Flood Risk Assessment (FRA) has been submitted as part of the application. A drainage strategy for the site, prepared by Structa and presented in Appendix 611, has also been submitted. As the strata underlying the site has inadequate infiltration potential, the proposed strategy is to drain by gravity to the existing surface water sewers in the southeast and southwest corners of the site. The combined surface water discharge from the site will be at a greenfield rate of 6.8 l/s. The development utilises geocellular storage and porous sub-base to provide the necessary attenuation storage volume to prevent flooding from a 1 in 100+40% climate change event.

37. Thames Water have been consulted on the available capacity within their sewers to accommodate both the foul and surface water discharges. Thames Water have confirmed available capacity for both and will accept a surface water discharge of 6.2 l/s.

38. The WBC Drainage Officer therefore has no objection to the principle of the scheme subject to a condition.

Ecology

39. This application is supported by an up to date Ecology Report (Applied Ecology, version 3.0, December 2022) and separate Biodiversity Net Gain Assessment (Applied Ecology, version 1.0, January 2023). Sufficient ecological survey information has been supplied for the local planning authority to be able to consider the impact of the proposed development on protected species and biodiversity.

Impact on protected species

40. The WBC Ecology Officer has recommended that it is unlikely that the protected species of Bats and Great Crested Newts will be adversely impacted by the development, and no mitigation measures will be required.

41. Paragraph 2.33 of the Ecology Report recommends that clearance of trees, shrubs and the building on site should be completed outside the breeding bird season or, if during the breeding season, immediately after a check by an experienced ornithologist that verifies nesting bird absence from the site. This is an appropriate recommendation to avoid committing a wildlife crime, but given the survey findings reported, it would be unreasonable for this to be imposed as a planning condition. An informative will therefore be added to highlight the matter.

Species enhancements

42. It is appropriate under paragraph 174(d) of the NPPF for the local planning authority to seek biodiversity enhancements in the course of development. The applicant's ecologist has recommended species ecological enhancements in section 3 of the Ecology Report. The WBC Ecology Officer has recommended that information provided in paragraph 3.3 and figure 3.1 of this report is detailed enough for implementation of appropriate enhancements for breeding birds. A condition is applied to secure the implementation of this enhancement proposal.

Biodiversity Net Gain

43. The WBC Ecology Officer has confirmed the development proposal is likely to result in a habitat biodiversity net gain on-site. A condition has been recommended to ensure that soft landscaping is implemented and maintained to secure this.

Environmental Health

44. To assess the site for potential contamination, a Phase I Environmental Site Assessment report (ref: 1700001845) and subsequent Phase II Assessment (1620012254), dated December 2022, has been submitted for this application.

45. Due to the limited potential sources of contamination identified during the investigation, risks to human health (i.e., future site users and construction workers) is considered to be low assuming appropriate re-use of excavated materials and control measures. The risks to the water environment (i.e. controlled waters) is considered to be low assuming removal of the diesel underground storage tank (UST) and potentially impacted soils during development. Risks to the built environment (i.e. migration of vapours and gases into buildings) is considered low.

46. The WBC Environmental Health Officer has been consulted and is satisfied with the conclusions and recommendations of the Environmental Site Assessment reports. As such, there is no objection on environmental health grounds subject to conditions. This will include the submission of a Verification Report to confirm the final status of the site in terms of ground contamination.

Archaeology

47. TB25 of the MDD Local Plan relates to Archaeology. Paragraph 205 of the NPPF (2021) states that local planning authorities should 'require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible'.

48. The application site falls within an area of archaeological significance and archaeological remains may be impacted by ground disturbance for the proposed development. In order to mitigate the impacts of development, Berkshire Archaeology recommend no objection subject to conditions.

Network Rail

49. The proposed new building is located approximately 8.2m from the main railway line between Reading and Paddington. Network Rail have been consulted and request that prior to commencing the development, the applicant engages with the Network Rail's Asset Protection and Optimisation team to ensure that the works can be completed without operational risk to the railway. They have also recommended that the applicant follows informatives to reduce risk to the operational railway.
50. It is the applicant's responsibility to contact the Asset Protection and Optimisation team of Network Rail, which is a separate consent to planning. The other informatives provided will be added to the decision notice.

Employment Skills Plan

51. Policy TB12 *Employment Skills Plan* of the MDD LP indicates that proposals for major development should be accompanied by an Employment and Skills Plan to demonstrate how the proposal accords opportunities for training, apprenticeship or other vocational initiatives to develop local employability skills required by developers, contractors or end users of the proposal. This will be secured by condition.

Atomic Weapons Establishment ('AWE')

52. Policy TB04 Development in the Vicinity of Atomic Weapons Establishment of the MDD LP allows development in the vicinity of the AWE at Burghfield but only where the increase in density can be safely accommodated. Whilst the site lies within AWE Special Case Zone, the proposal does not fall within the range of special cases as identified by Office for Nuclear Regulation. Therefore, the proposal does not raise further considerations in this regard.

CONCLUSION

53. The proposal seeks to replace the existing and dated industrial units with an attractive, modern, and functional commercial building that will result in substantial economic and employment opportunity for the site and wider improvement to Suttons Business Park. The proposed development would have a reduced floor area of 800 sqm, but would have a larger cubic capacity by virtue of the increased eaves and ridge height. This is considered to make the most effective use of land within an existing major employment location and is afforded great weight in accordance with the NPPF. The development is well contained within the plot and achieves appropriate separation distances with the neighbouring properties. Materials utilised are also attractive and relate well to the contemporary appearance of other upgraded commercial units within the park. Despite the shortfall for the development to reach the BREEAM 'Excellent' rating, the identified economic and social benefits are considered to outweigh the conflict with local plan sustainability standards. The application is therefore recommended for condition approval.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1- Conditions and Informatives

Conditions:

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved plans

This permission is in respect of the submitted application plans and drawings numbered 31819-PL-210, 31819-PL-211, 31819-PL-212, and 31819-PL-213, received by the local planning authority on 30 January 2023. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Materials External

The materials to be used in the construction of the external surfaces of the extension hereby permitted shall be those as stated on the approved plans, unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: To ensure that the external appearance of the building is satisfactory.

Relevant policy: Core Strategy policies CP1 and CP3.

4. Additional floor space

No additional floor space, including mezzanine floors, shall be constructed within the building/s hereby approved without prior written permission of the local planning authority.

Reason: To prevent an over-development of the site and to ensure adequate parking.

Relevant policy: Core Strategy policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan policy CC07.

5. Vehicle parking and turning

No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

6. Travel Plan

No building shall be occupied until a Travel Plan has been submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so approved.

Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 9 (Promoting Sustainable Transport) and Core strategy policy CP6.

7. Cycle Parking

Prior to the commencement of the development hereby permitted details of secure and covered bicycle storage/ parking facilities for the occupants of [and visitors to] the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

8. Construction Method Statement

No development shall take place, excluding any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i. the parking of vehicles of site operatives and visitors,
- ii. lorry routing and potential numbers
- iii. types of piling rig and earth moving machinery to be utilized
- iv. installation of temporary lighting
- v. loading and unloading of plant and materials,
- vi. storage of plant and materials used in constructing the development,
- vii. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- viii. wheel washing facilities,
- ix. measures to control the emission of dust and dirt during construction,
- x. a scheme for recycling/disposing of waste resulting from construction works.

Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.

9. Hours of work

No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

10. Ground and building levels

No development shall take place until a measured survey of the site and a plan prepared to scale of not less than 1:500 showing details of existing and proposed finished ground levels (in relation to a fixed datum point) and finished roof levels shall be submitted to and approved in writing by the local planning authority, and the approved scheme shall be fully implemented prior to the occupation of the building(s).

Reason: In order to ensure a satisfactory form of development relative to surrounding buildings and landscape. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy TB21.

11. Details of boundary walls and fences

Before the development hereby permitted is commenced details of all boundary treatment(s) shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

Reason: In the interests of amenity and highway safety. Relevant policy: Core Strategy policies CP1, CP3 and CP6.

12. Landscaping

Prior to the commencement of the development, full details of both hard and soft landscape proposals shall be submitted to and approved in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable. All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development).

13. Retention of trees and shrubs

No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation.

Reason: To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which

are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

14. Protection of trees

- a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
- b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

15. Exceedance Route

Development shall not take place until an exceedance flow routing plan for flows above the 1 in 100+40% climate change event has been submitted to and approved in writing by the Local Planning Authority. The proposed scheme shall identify exceedance flow routes through the development based on proposed topography with flows being directed to highways and areas of public open space. Flow routes through gardens and other areas in private ownership will not be permitted. The scheme shall subsequently be completed in accordance with the approved details before the development is first brought into use/occupied.

Reason: To ensure satisfactory drainage of the site and avoid flooding. It is important that these details are agreed prior to the commencement of development as any works on site could have implications for drainage in the locality.

16. Special Enhancements

The ecological enhancements specified in paragraph 3.3 and figure 3.1 of the submitted Ecology Report (Applied Ecology, version 3.0, December 2022) shall be implemented in full and maintained for a minimum period of 10 years, unless otherwise agreed by the local authority in writing.

Reason: To secure biodiversity enhancement as per the National Planning Policy Framework paragraph 174(d) and MDD local plan policy TB23.

17. Land Contamination

Prior to the commencement of the development, the applicant shall submit to the planning authority a remediation statement as recommended in the conclusions and recommendations in the PHASE II ENVIRONMENTAL SITE INVESTIGATION, dated December 2022, by Ramboll UK Ltd. This must follow the guidelines set out in BS10175 'Code of Practice for the Investigation of Potentially Contaminated Sites' and CLR11 Model Procedures for the Management of Land Contamination. A watching brief must be implemented during ground works for any unforeseen contamination, any found should be reported immediately to the planning authority. Once the remediation method has been agreed and then carried out, a verification report shall be submitted to the local planning authority to confirm the work as completed and the land free from risk to human health.

Reason: To ensure that future users of the site are protected from the potentially harmful effects of contamination.

18. Archaeology

The Development shall take place in accordance with the WSI (Written Scheme of Investigation) document ref 18e29ev 'Planning Application Site: 31-33 Suttons Park Avenue' by TVAS, submitted with the application, allowing for a full programme of archaeological works. The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the WSI and the provision made for analysis, publication and dissemination of results and archive deposition has been secured. Dependent on the results of the evaluation, further work, which would need an additional WSI, may be required.

Reason: The site lies in an area of archaeological potential, particularly for, but not limited to, Prehistoric remains. The potential impacts of the development can be mitigated through a programme of archaeological work. This is in accordance with National Planning Policy Framework paragraph 205 and Managing Development Delivery Local Plan Policy TB25.

19. BREEAM

The new building shall achieve BREEAM level 'Very Good' in accordance with the requirements of BREEAM [or such national measure of sustainability for non-residential design that replaces that scheme].

Reason: To ensure developments contribute to sustainable development. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policy CC04.

20. Energy Efficiency

The approved scheme for generating 10% of the predicted energy requirement of the development from decentralised renewable and/or low carbon sources as set out within the Dunwoody Energy Statement, issue 1, referenced '20861/REP/004' and dated January 2023 shall be implemented before the development is first occupied and shall remain operational for the lifetime of the development.

Reason: To ensure developments contribute to sustainable development. Relevant policy: NPPF Section 14 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1, Managing Development Delivery Local

21. Employment and skills plan

No building shall be occupied until an Employment and Skills Plan shall be submitted to and approved in writing by the local planning authority. The Employment and Skills Plan shall show how the development hereby permitted provides opportunities for training, apprenticeship or other vocational initiatives to develop local employability skills and shall be implemented in accordance with the approved details.

Reason: To ensure training opportunities are available for local workers. Relevant policy: Managing Development Delivery Local Plan policy TB12.

Informatives:

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF.
2. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear, please contact the case officer to discuss.
3. Should any bats or evidence of bats be found prior to or during the development, all works must stop immediately, and an ecological consultant contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
4. Breeding Birds
This permission does not derogate the need for compliance with the Wildlife and Countryside Act 1981 (as amended). Attention is drawn to the advice given in the Ecology Report (Applied Ecology, version 3.0, December 2022) paragraph 2.33 to avoid committing an offence.
5. Network Rail informatives
The applicant may be required to enter into an Asset Protection Agreement to get the required resource and expertise on-board to enable approval of detailed works.

To start the process with our Asset Protection team, the applicant should use the Asset Protection Customer Experience (ACE) system found on Network Rail's Asset Protection website (<https://www.networkrail.co.uk/running-the-railway/looking-after-the-railway/asset-protection-andoptimisation/>).

The developer must ensure that their proposal, both during construction and after completion does not:

- encroach onto Network Rail land
- affect the safety, operation or integrity of the company's railway and its infrastructure
- undermine its support zone
- damage the company's infrastructure
- place additional load on cuttings
- adversely affect any railway land or structure
- over-sail or encroach upon the air-space of any Network Rail land
- cause to obstruct or interfere with any works or proposed works or Network Rail development both now and in the future

The applicant must ensure that any construction and subsequent maintenance can be carried out to any proposed buildings or structures without adversely affecting the safety of/ or encroaching upon Network Rail's adjacent land and air-space. Therefore, any buildings are required to be situated at least 2 metres (3m for overhead lines and third rail) from Network Rail's boundary.

This requirement will allow for the construction and future maintenance of a building without the need to access the operational railway environment. Any less than 2m (3m for overhead lines and third rail) and there is a strong possibility that the applicant (and any future resident) will need to utilise Network Rail land and air-space to facilitate works as well as adversely impact upon Network Rail's maintenance teams' ability to maintain our boundary fencing and boundary treatments. Access to Network Rail's land may not always be granted and if granted may be subject to railway site safety requirements and special provisions with all associated railway costs charged to the applicant.

As mentioned above, any works within Network Rail's land would need approval from the Network Rail Asset Protection Engineer. This request should be submitted at least 20 weeks before any works are due to commence on site and the applicant is liable for all associated costs (e.g. a l l possession, site safety, asset protection presence costs). However, Network Rail is not required to grant permission for any thirdparty access to its land.

Plant & Materials: All operations, including the use of cranes or other mechanical plant working adjacent to Network Rail's property, must at all times be carried out in a "fail safe" manner such that in the event of mishandling, collapse or failure, no plant or materials are capable of falling within 3.0m of the boundary with Network Rail.

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NOTES:

SUBJECT TO STATUTORY CONSENTS

SUBJECT TO SURVEY

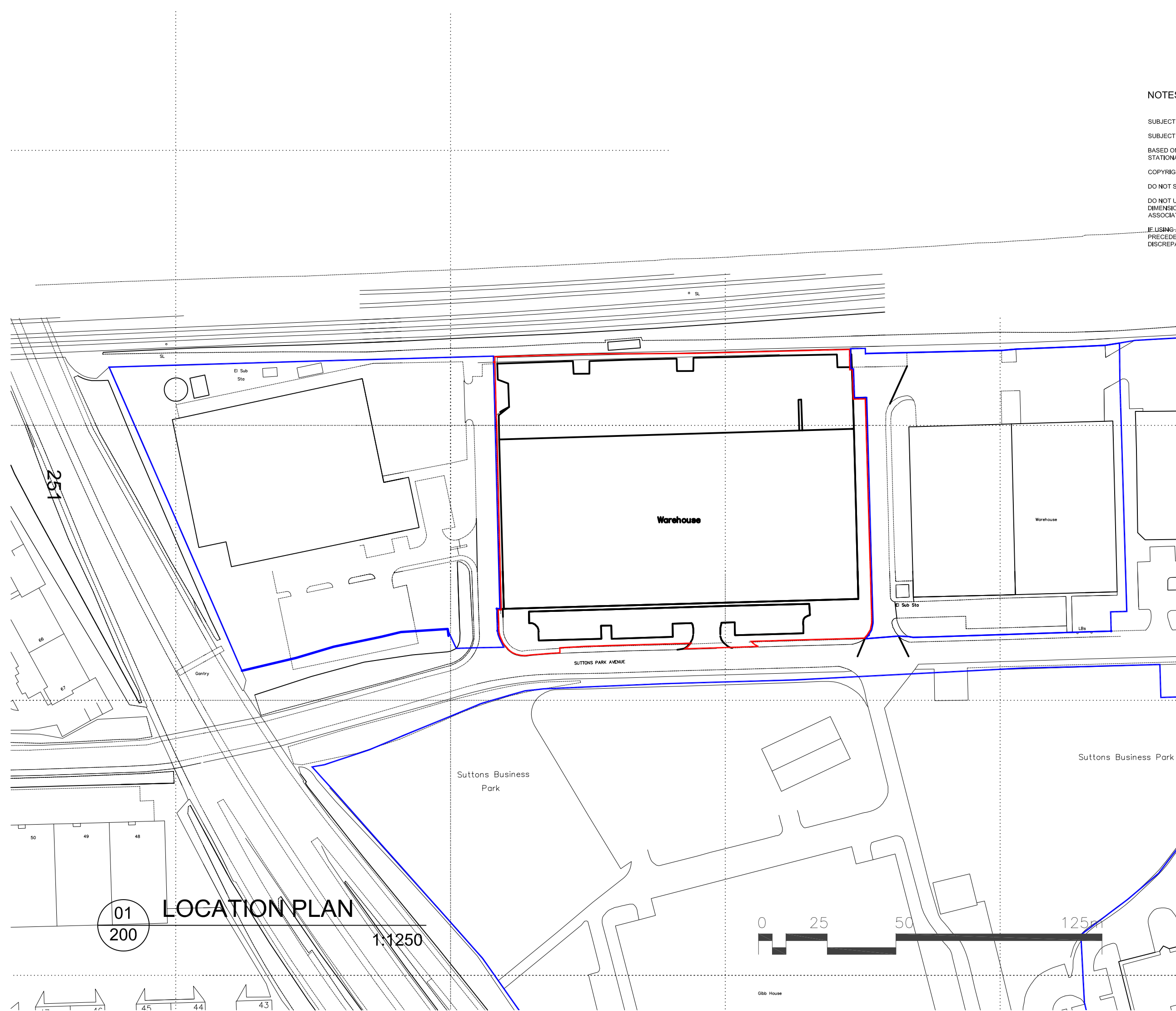
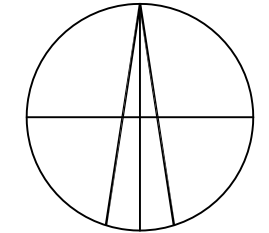
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MICHAEL SPARKS ASSOCIATES

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TITLE		
PLOT 31-33, SUTTONS BUSINESS PARK		
DRAWING		
LOCATION PLAN		
CLIENT		
STANDARD LIFE INVESTMENTS		
DATE	SCALE	DRAWN
DECEMBER 2022	1:1250@A3	SD
STATUS	CHECKED	MS
PLANNING		
DRAWING NUMBER		
31819-PL-210		

LOCATION PLAN

1:1250

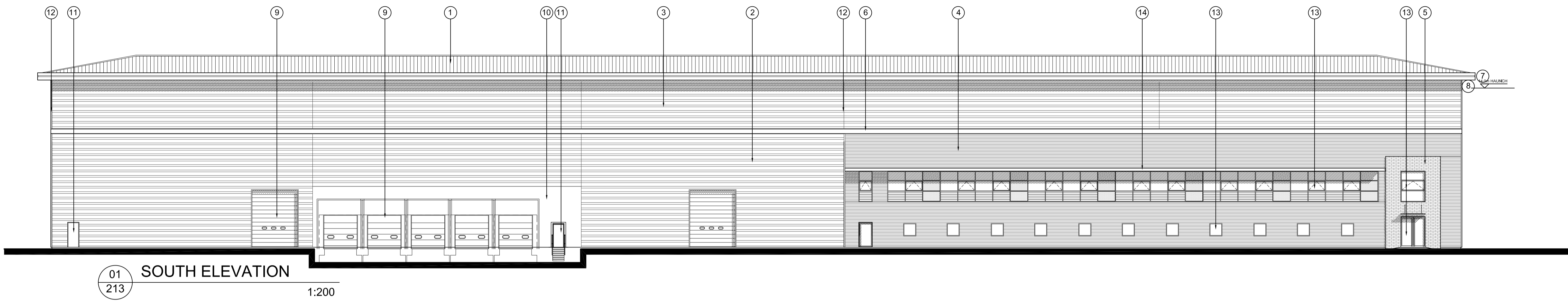
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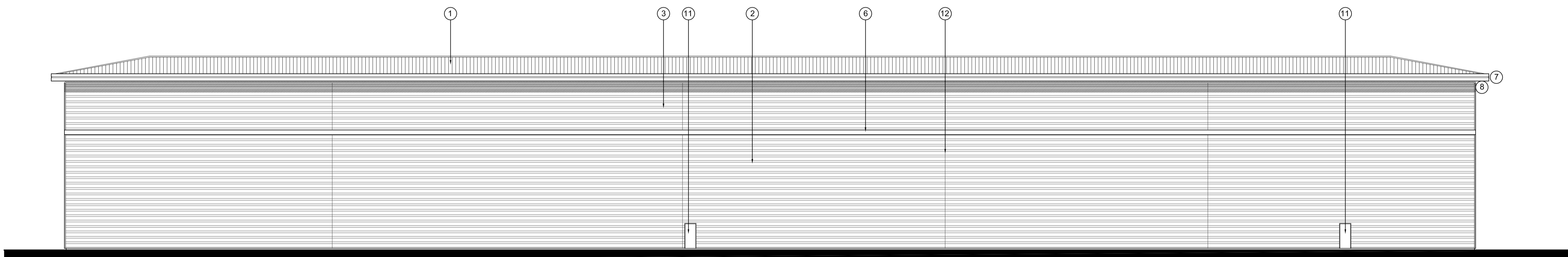


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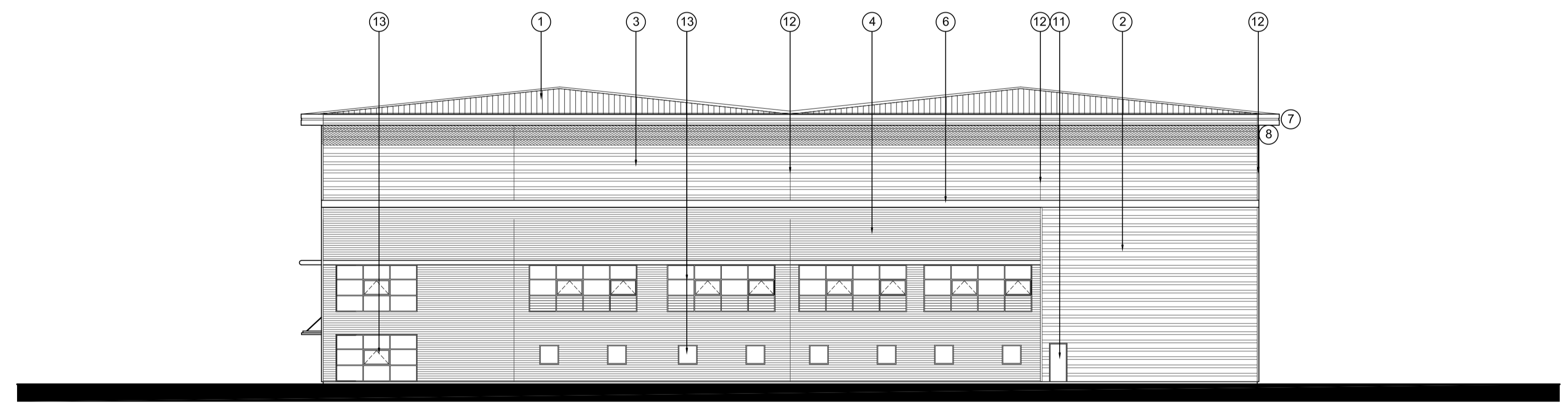
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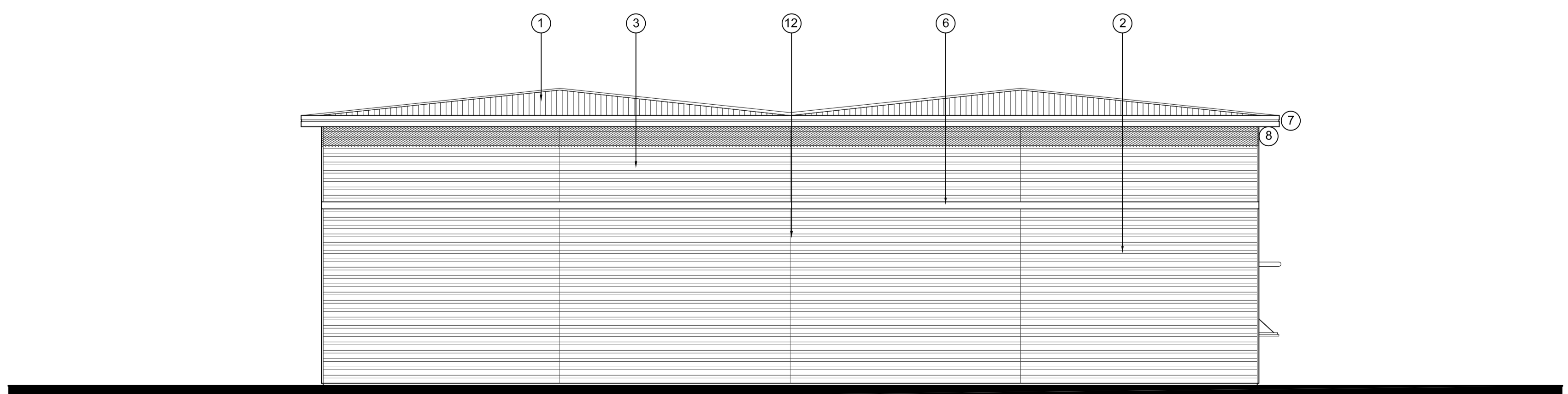
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213 1:200



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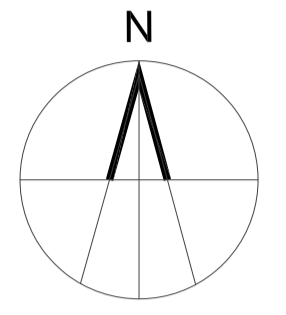


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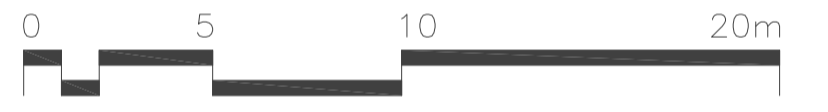
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SCHEDULE OF EXTERNAL FACING MATERIALS

1	ROOF	FULLY INSULATED BUILT UP ROOF SYSTEM COLOUR: HPS 200 ALBATROSS LIGHT GREY
2	UNIT WALL CLADDING 1	FULLY INSULATED HALF ROUND CLADDING LAID HORIZONTALLY COLOURCOAT PRISMA SIRIUS (RAL 9006)
3	UNIT WALL CLADDING 2	FULLY INSULATED HALF ROUND CLADDING LAID HORIZONTALLY COLOURCOAT PRISMA ORION (RAL 9007)
4	OFFICE WALL CLADDING	FULLY INSULATED SINUSOIDAL CLADDING LAID HORIZONTALLY COLOURCOAT PRISMA ZEUS (DARK GREY METALLIC)
5	OFFICE ENTRANCE WALL	BRICK. COLOUR: SMOOTH BUFF
6	FEATURE BAND	SECRET FIXED PROFILED BAND. COLOURCOAT PRISMA COLOUR: ZEUS (DARK METALLIC GREY)
7	ROOF FASCIA	SECRET FIXED PROFILED FASCIA. HPS 200 ULTRA COLOUR: ORION (RAL 9007)
8	ROOF OVERHANG AND SOFFIT	FLAT METAL SECRET FIXED SOFFIT PRISMA ORION (RAL 9007)
9	LOADING / DOCK DOORS	TATA STEEL HPS200 FINISH - COLOUR: GREY ALUMINIUM (RAL 9007)
10	DOCK SURROUNDS	PROWALL INSULATED CONCRETE PANEL
11	PERSONNEL / FIRE EXIT DOORS	TATA STEEL HPS200 FINISH - COLOUR: SIRIUS (RAL 9006)
12	JOINTS & CORNER FLASHINGS	FIN DETAIL CORNER FLASHING, VERTICAL 'T' FLASHING, RECESSED TOPHAT COLOUR: SIRIUS (RAL 9006)
13	CURTAIN WALLING & ENTRANCE DOORS WINDOWS	CLEAR ANTI-SUN TOUCHED GLASS IN POLYESTER POWDER COATED ALUMINIUM CURTAIN WALLING SYSTEM WITH LOGO-LIKE PANELS & MANIFESTATION. COLOUR: DARK GREY (RAL 7016)
14	BRISE SOLEIL	POWDER COATED ALUMINIUM HORIZONTAL AEROFOL FINS. COLOUR: SILVER METALLIC (RAL 9006)



REV	DATE	NOTE	DRAW	CHK



Standard Life Investments

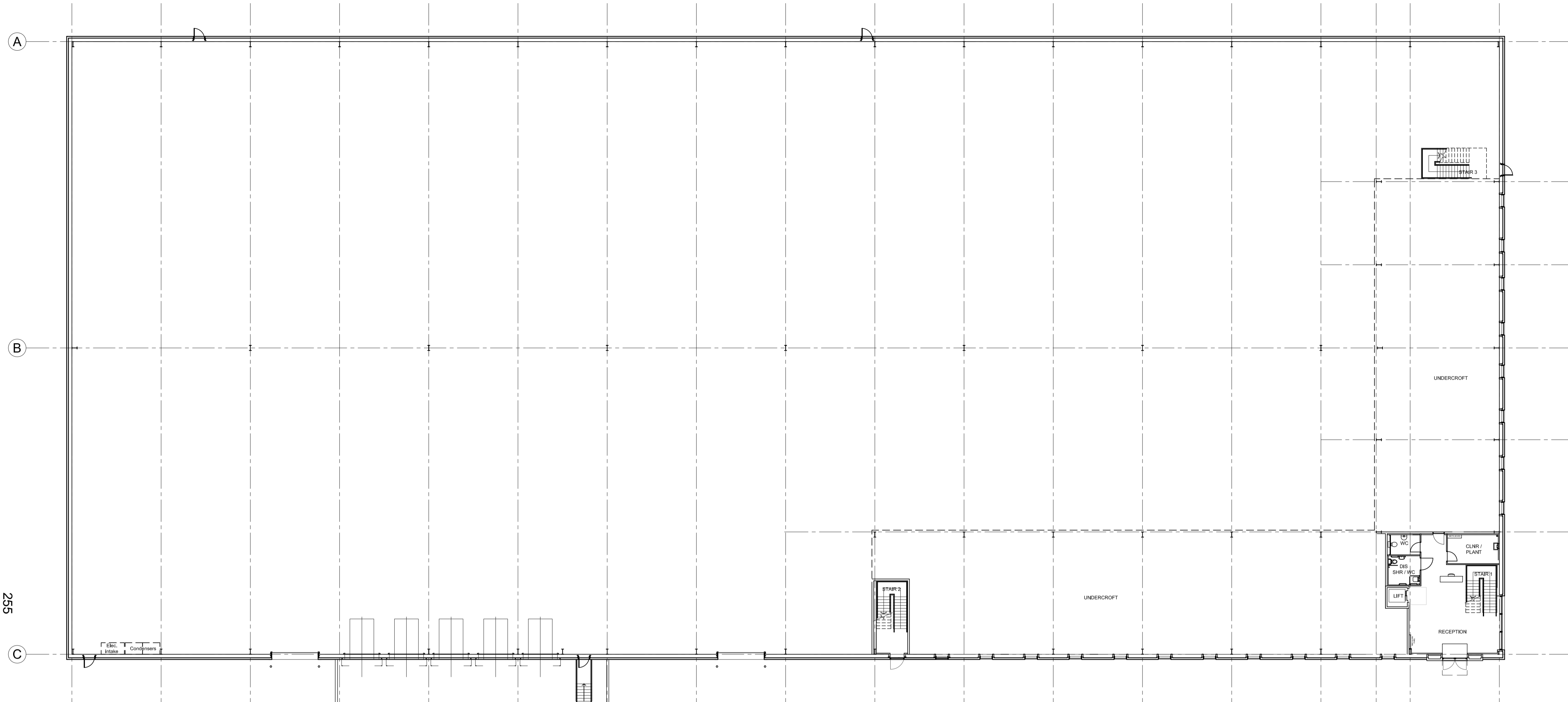
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TITLE
SUTTONS BUSINESS PARK, READING
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PLOT D ELEVATIONS
 CLIENT
STANDARD LIFE INVESTMENTS

DATE	SCALE	DRAWN
APRIL 2018	1:200 @ A1	SD
	STATUS	CHECKED
	PLANNING	

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31819-PL-213

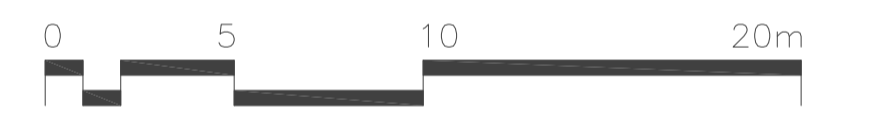
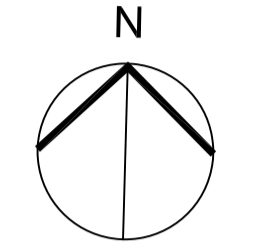
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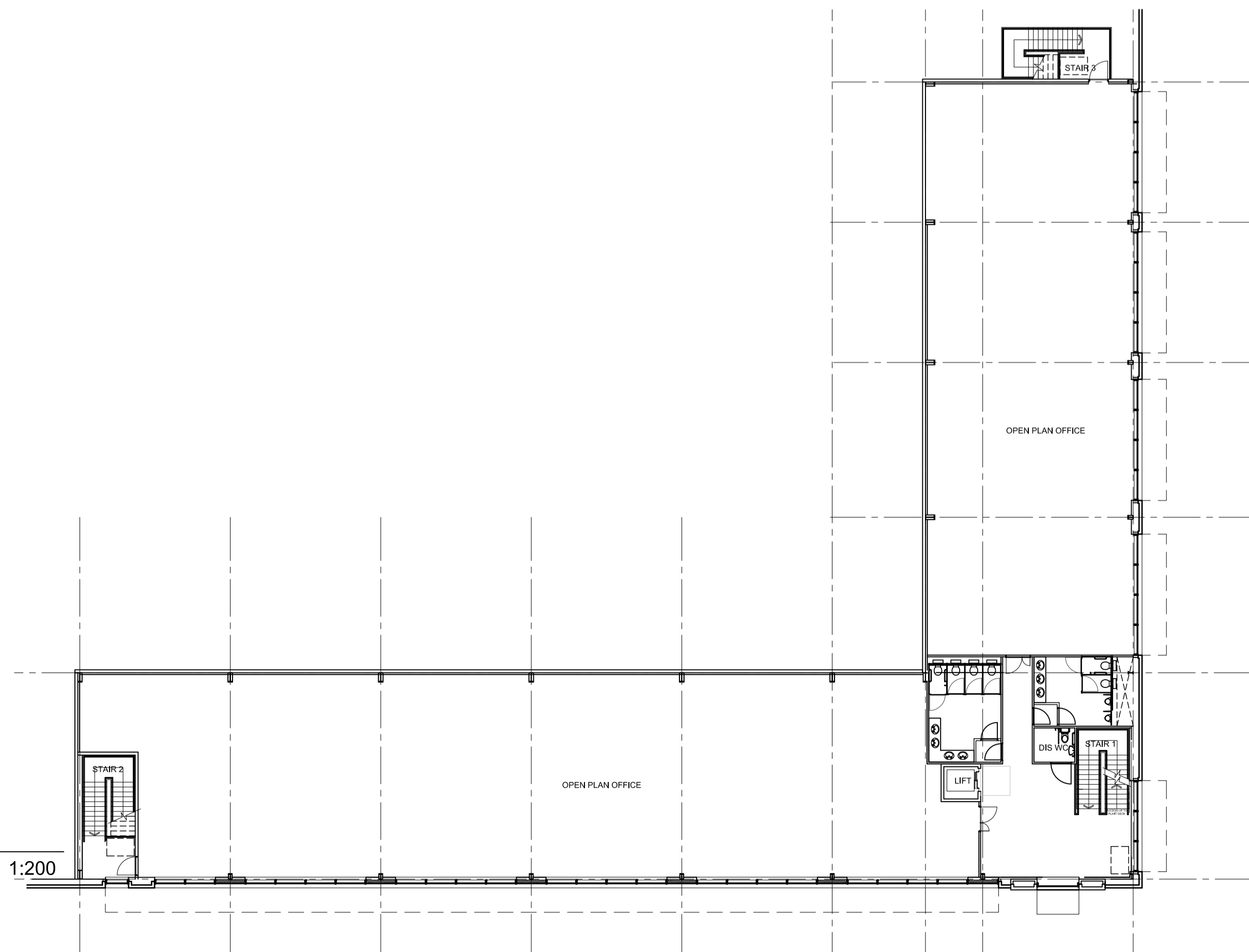
01 GROUND FLOOR PLAN
1:200

255


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02 FIRST FLOOR PLAN
1:200



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TITLE
SUTTONS BUSINESS PARK, READING

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PLOT D FLOOR PLANS

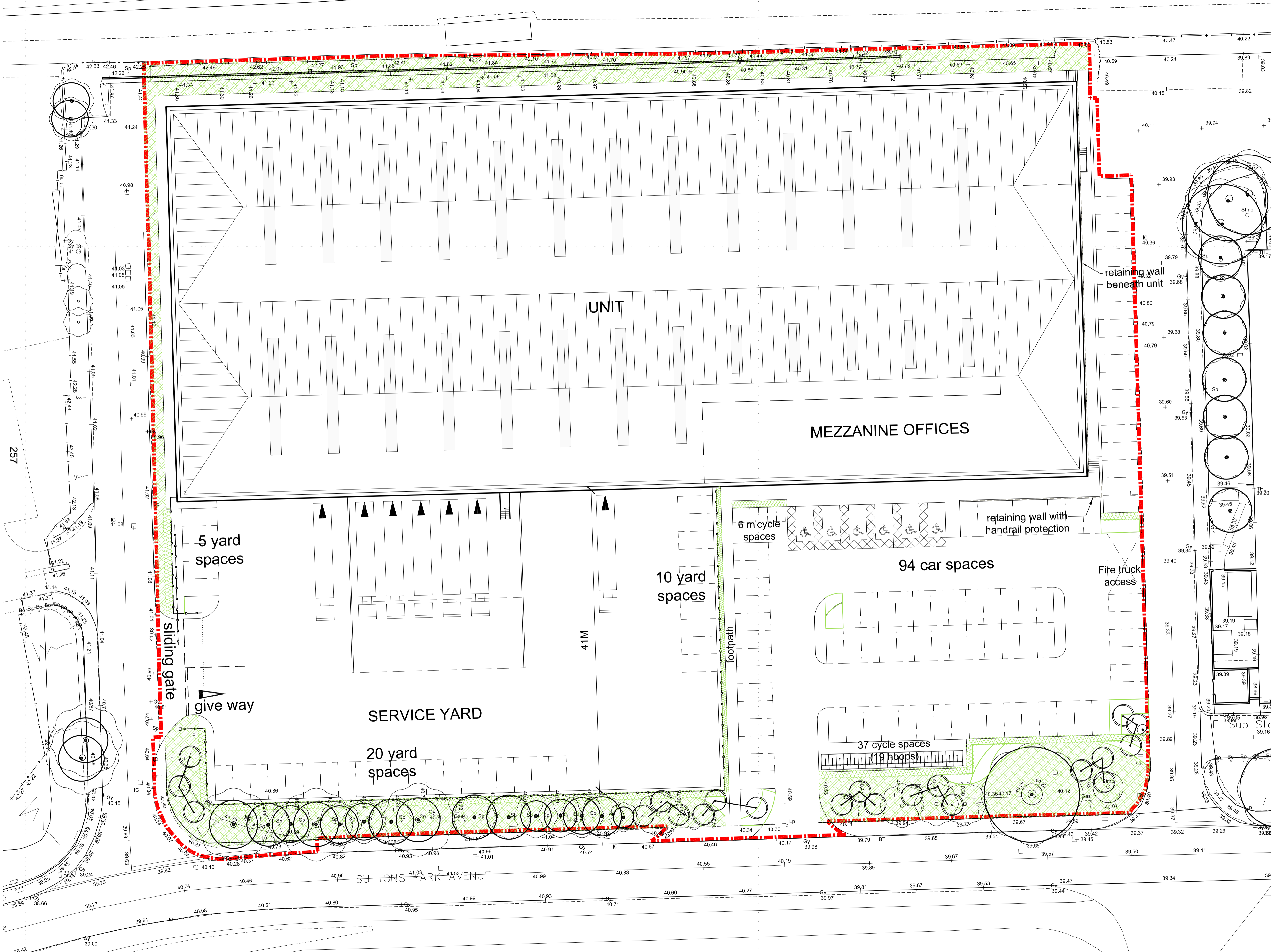
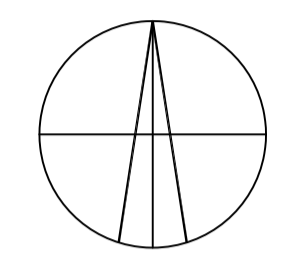
CLIENT
STANDARD LIFE INVESTMENTS

DATE DECEMBER 2022	SCALE 1:200 @ A1	DRAWN SD
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Schedule of Areas
GIA

Plot 31-33	sqm	sqft
GF Unit & Entrance lobby	6455	69,480
1F Offices	859	9,250
Total	7,314	78,730

	Ha	acres
PLOT AREA	1.426	3.523

REV	DATE	NOTE	DRAW	CHK
-	-	-	-	-

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TITLE
PLOT 31-33, SUTTONS BUSINESS PARK
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SITE LAYOUT PLAN

CLIENT
STANDARD LIFE INVESTMENTS

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DECEMBER 2022	1:250@A1	SD

STATUS	CHECKED
PLANNING	MS

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31819-PL-211

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